

# 513 E. Main

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## ABBREVIATIONS

1R1S	(1) ROD + (1) SHELF	NCSBC	NORTH CAROLINA STATE BUILDING CODE
ACI	AMERICAN CONCRETE INSTITUTE	N.I.C.	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NO.	NUMBER
AFF	ABOVE FINISH FLOOR	NOM.	NOMINAL
AFG	ABOVE FINISH GRADE	O.C.	ON CENTER
AHU	AIR HANDLING UNIT	O.D.	OVERFLOW DRAIN/OUTSIDE DIAMETER
ALUM.	ALUMINUM	O.H.	OPPOSITE HAND
AM	ANTE MERIDEN	OPNG.	OPENING
ARCH.	ARCHITECTURAL	O/S	OUTSIDE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	OTB	OPEN TO BELOW
BFE	BASE FLOOD ELEVATION	PC	PLUMBING CONTRACTOR
B.O.	BOTTOM OF	PH	PHASE
CJ	CONTROL JOINT	PJ	PANEL JOINT
CAB.	CABINET	PL	POINT LOAD
CLG	CEILING	P-LAM	PLASTIC LAMINATE
CMU	CONCRETE MASONRY UNIT	PME	PLUMBING, MECHANICAL, & ELECTRICAL
CO	CLEANOUT	PP	PUSH PAD
CONC.	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CONT.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CPET	COMMON PATH OF EXIT TRAVEL	PSL	PARALLEL STRAND LUMBER
CW	COLD WATER	P.T.	PRESSURE TREATED
DBL	DOUBLE	PNTD	PAINTED
DR.	DOOR	P.W. / PWD	PLYWOOD
DWG.	DRAWING	RC	REINFORCED CONCRETE
DWV	DRAIN/WASTE/VENT	RCP	REFLECTED CEILING PLAN
DS	DOWNSPOUT	RD	ROOF DRAIN
DTL.	DETAIL	REINF	REINFORCED OR REINFORCING
EC	ELECTRICAL CONTRACTOR	REQD	REQUIRED
EJ	EXPANSION JOINT	RL	ROOF LEADER
ELECT.	ELECTRICAL	RUB	RUBBER
ELEV.	ELEVATION	SAN	SANITARY
ETC.	ETCETERA	SF	SQUARE FOOT OR SQUARE FEET
E.T.R.	EXISTING TO REMAIN	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SP	SOUTHERN PINE
EXIST.	EXISTING	SPF	SPRUCE / PINE / FIR
EXT.	EXTERIOR	SS	STAINLESS STEEL
FBGLS.	FIBERGLASS	STOR	STOREFRONT
FCP	FIBER CEMENT PANEL	STL.	STEEL
FD	FLOOR DRAIN	TD	TRAVEL DISTANCE
FF	FINISH FLOOR	TO MATCH EXISTING	TO MATCH EXISTING
FEC	FIRE EXTINGUISHER CABINET	T.O.	TOP OF
FJ	FALSE JOINT	T.O.P.	TOP OF PLATE
FLR.	FLOOR	TRD.	TREAD
GC	GENERAL CONTRACTOR	TYP.	TYPICAL
GA	GAUGE	U.N.O.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	V	VOLTY VOLTAGE
GEN	GENERAL	VCT	VINYL COMPOSITE TILE
GS	GANG STUD	VERT.	VERTICAL
GWB	GYPSPUM WALL BOARD	VIF	VERIFY IN FIELD
H/C	HANDICAPPED	W/	WITH
HDWR	HARDWARE	WGL	WIRE GLASS
HM	HOLLOW METAL	WD	WOOD
HORIZ.	HORIZONTAL		
HP	HEAT PUMP		
IM	ICEMAKER		
INSUL.	INSULATION		
INT.	INTERIOR		
KW	KILOWATT		
LOCS.	LOCATIONS		
LSL	LAMINATED STRAND LUMBER		
MAX.	MAXIMUM		
MBT	MARBLE THRESHOLD		
MC	MECHANICAL CONTRACTOR		
MCJ	MASONRY CONTROL JOINT		
MEJ	MASONRY EXPANSION JOINT		
MECH.	MECHANICAL		
MFR.	MANUFACTURER		
MIN.	MINIMUM		
MT	METAL THRESHOLD		
MTL.	METAL		

## GENERAL CONSTRUCTION NOTES

- THESE DRAWINGS CONTAIN THE MINIMUM INFORMATION NECESSARY FOR ANY REPUTABLE CONTRACTOR TO UNDERTAKE CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE COMPLETION OF THE PROJECT. HE SHALL COMPLETE THE WORK IN THE BEST AND MOST WORKMANLIKE MANNER, AND DO EVERYTHING PROPERLY INCIDENTAL THERETO, AS SHOWN ON THE PLANS, REQUIRED BY ALL APPLICABLE CODES, AS RECOMMENDED BY PRODUCT MANUFACTURERS, AND IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE BEGINNING WORK. DIMENSIONS FOR NEW CONSTRUCTION SHOULD BE HELD TO THE MAXIMUM EXTENT POSSIBLE.
- PREMISES OF THE ENTIRE JOB SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF OSHA.
- PRIOR TO THE FINAL PAYMENT THE CONTRACTOR SHALL GIVE TO THE OWNER A LABELED BINDER CONTAINING A LIST OF ALL SUPPLIERS AND SUBCONTRACTORS WITH ADDRESSES AND PHONE NUMBERS, GUARANTEES, AND OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT. THE CONTRACTOR SHALL WARRANT THE WORK FOR A PERIOD OF ONE YEAR.
- IF A PORTION OF THE WORK HAS BEEN COVERED WHICH THE ARCHITECT HAS NOT SPECIFICALLY REQUESTED TO OBSERVE PRIOR TO ITS BEING COVERED, THE ARCHITECT MAY REQUEST TO SEE SUCH WORK AND IT SHALL BE UNCOVERED BY THE CONTRACTOR, IF SUCH WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, COSTS OF UNCOVERING AND REPLACEMENT SHALL, BY APPROPRIATE CHANGE ORDER, BE CHARGED TO THE ARCHITECT. IF SUCH WORK IS NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL PAY SUCH COSTS UNLESS THE CONDITION WAS CAUSED BY THE OWNER OR A SEPARATE CONTRACTOR IN WHICH EVENT THE OWNER SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH COSTS. THE CONTRACTOR SHALL PROMPTLY CORRECT THE WORK REJECTED BY THE ARCHITECT OR FAILING TO CONFORM TO THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ALL CONCRETE SHALL BE 3000 PSI MINIMUM, AND ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE ACI AND ASTM.
- LIGHT GAUGE STEEL FRAMING SHALL BE IN ACCORDANCE WITH THE LIGHT-GAUGE STEEL FRAMING CONSTRUCTION MANUAL AND AS PER ASTM A448, A570, OR A611.
- REINFORCING BARS FOR CONCRETE WORK SHALL BE GRADE #61 DEFORMED AS PER ASTM A615.
- WELDED WIRE FABRIC SHALL BE AS PER ASTM A185 OF SIZES AND TYPE AS SHOWN ON DRAWINGS.
- METAL TIE DOWN STRAPS, ANCHORS AND CLIPS SHALL BE AS PER "SIMPSON STRONGTIE" OR EQUAL.
- WOOD FRAMING AND BLOCKING SHALL BE #2 SPF OF THE SIZES INDICATED AND SHALL HAVE A MIN. F<sub>b</sub> VALUE OF 1200 PSI.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ROOFING IN ACCORDANCE WITH NRCA REQUIREMENTS AND THE ROOFING PRODUCT MANUFACTURER'S RECOMMENDATIONS INCLUDING WATERPROOFING OF ALL PENETRATIONS AND SUPPORTS FOR MECHANICAL EQUIPMENT, AND AS SHOWN ON DRAWINGS.
- THE CONTRACTOR SHALL DETERMINE BEFORE BEGINNING WORK WHETHER AN ELEVATION CERTIFICATE WILL BE REQUIRED AND SHALL OBTAIN THE CERTIFICATE AT THE EARLIEST OPPORTUNITY. ONE COPY FOR THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION. INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH SHEATHING AND GWB OF WALL CAVITY. FLOOR AND CEILING INSULATION SHALL BE IN FULL CONTACT WITH GWB. INSULATION SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS, WITH NO SUBSTANTIAL GAPS, VOIDS, COMPRESSION OR WIND INTRUSION.
- SOIL SHALL BE FREE OF ORGANIC MATERIAL AND CONSOLIDATED TO BE CAPABLE OF 1,500 PSF AND LIMIT LONG TERM SETTLEMENT.
- CAULK ALL GAPS IN FRAMING AND SHEATHING AT FRAMING ROUGH-IN. CAULK GAPS IN GWB NOT SEALED BY TAPE AND JOINT COMPOUND. AIR TIGHTNESS SHALL BE LESS THAN OR EQUAL TO .30 CFM50 PER SQUARE FOOT OF CONDITIONED ENVELOPE AREA.

## PLUMBING

- IT IS THE INTENT OF THESE DRAWINGS TO GIVE THE PLUMBING CONTRACTOR A GENERAL LAYOUT OF THE PLUMBING FIXTURES REQUIRED FOR THIS PROJECT. IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE ALL INDICATED EQUIPMENT, FIXTURES AND REQUIRED MATERIALS, PIPING, TOOLS, AND RELATED APPURTENANCES FOR A COMPLETE AND SAFE PLUMBING SYSTEM.
- THE PLUMBING CONTRACTOR SHALL COORDINATE ELECTRICAL REQUIREMENTS FOR PLUMBING EQUIPMENT WITH THE ELECTRICAL CONTRACTOR.
- ALL PLUMBING FIXTURES SHALL BE WHITE. PRODUCT SELECTION SHALL BE APPROVED BY THE OWNER.
- ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE AND UNDUCE DIRT. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH FIXTURE AND REPLACE ANY DAMAGED FIXTURES.
- THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZE OF CHASES AND OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE.
- PIPING SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE. SPACES AROUND PIPES WHERE THEY PENETRATE WALLS, FLOORS AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL.

## MECHANICAL

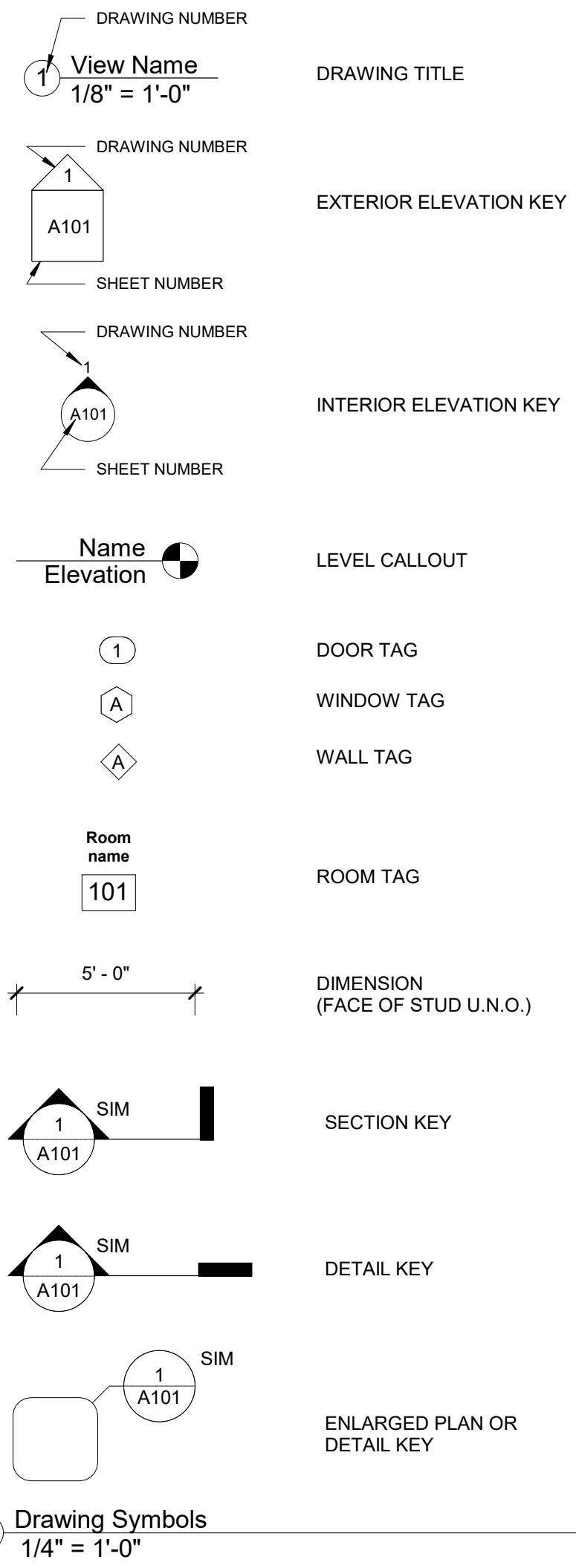
- THE MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT FOR HEATING, COOLING AND VENTILATING THE SPACES SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT HIS OWN WORK IN CONFORMANCE WITH THE CODE AND GOOD PRACTICE AND FOR THE SAFETY AND GOOD CONDITION OF ALL WORK, MATERIAL AND EQUIPMENT INCLUDED IN HIS CONTRACT. PROVIDE LAYOUT AND EQUIPMENT SPECIFICATIONS TO THE ARCHITECT BEFORE BEGINNING WORK. THE MECHANICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF THE PLUMBING AND ELECTRICAL CONTRACTORS.
- ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- BEFORE ACCEPTANCE OF HIS WORK, THE CONTRACTOR MUST ADJUST AND BALANCE THE SYSTEMS AND EACH PIECE OF EQUIPMENT TO ASSURE THE CORRECT OPERATION. CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE AND UNDUCE DIRT. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH PIECE OF EQUIPMENT AND REPLACE ANY DAMAGED EQUIPMENT. A NEW SET OF FILTERS SHALL BE INSTALLED ON THE COMPLETION OF FINAL PAINTING AND CLEANING.
- THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZE OF CHASES AND OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE.
- DUCTWORK SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE. SPACES AROUND DUCTS WHERE THEY PENETRATE WALLS, FLOOR AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL, WHERE DUCTS PENETRATE UNIT PARTITIONS THEY SHALL BE EQUIPPED WITH AUTOMATIC FIRE DAMPERS.
- HEAT PUMPS SHALL HAVE A MINIMUM SEER RATING OF 14 AND A MINIMUM HSPF OF 8.2.
- ALL DUCT CONNECTIONS SHALL BE SEALED WITH A UL LISTED "BUCKET" MASTIC PRODUCT. DUCT LEAKAGE, MEASURED IN CUBIC FEET PER MINUTE AT 25 PASCALS, SHALL NOT EXCEED 3% OF THE CONDITIONED SQUARE FOOTAGE.
- PROVIDE CLOSURE AND SEAL AT DUCT CHASES THROUGH CEILING AND FLOOR PENETRATIONS.

## ELECTRICAL

- IT IS THE INTENT OF THESE DRAWINGS TO GIVE THE ELECTRICAL CONTRACTOR A GENERAL LAYOUT OF THE ELECTRICAL SYSTEM REQUIRED FOR THIS PROJECT. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL INDICATED EQUIPMENT, FIXTURES AND REQUIRED MATERIALS, WIRING, TOOLS, AND RELATED APPURTENANCES FOR A COMPLETE AND SAFE ELECTRICAL SYSTEM.
- THE WORK OF THE ELECTRICAL CONTRACTOR SHALL BE COMPLETED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF THE PLUMBING AND MECHANICAL CONTRACTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT HIS OWN WORK IN CONFORMANCE WITH THE WORK OF THE CODE AND GOOD PRACTICE AND FOR THE SAFETY AND GOOD CONDITION OF ALL WORK, MATERIAL AND EQUIPMENT INCLUDED IN HIS CONTRACT.
- ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH PIECE OF EQUIPMENT AND REPLACE ANY DAMAGED EQUIPMENT.
- THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZE OF CHASES AND OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE.
- CONDUIT SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE. SPACES AROUND CONDUITS WHERE THEY PENETRATE WALLS, FLOORS AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION.

## DEMOLITION NOTES

- THESE DRAWINGS ARE BASED ON FIELD OBSERVATIONS AND MEASUREMENTS OF THE EXISTING STRUCTURE. DIMENSIONS FOLLOWED BY A +/- MAY BE ADJUSTED TO MEET ACTUAL DISCREPANCIES IN THE DRAWINGS SHOULD BE ANTICIPATED. THE GENERAL CONTRACTOR SHALL RESOLVE SUCH DISCREPANCIES WITH REGARD TO THE BUILDING'S STRUCTURAL INTEGRITY.
- ELECTRICAL SERVICE SHALL BE TERMINATED AS APPROPRIATE PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- THE GENERAL CONTRACTOR SHALL SEQUENCE THE WORK SO AS TO PROTECT THE EXISTING STRUCTURE FROM EXCESSIVE WATER DAMAGE, UNAUTHORIZED ACCESS, ETC.
- THE GENERAL CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
- IT SHALL BE THE OWNER'S OPTION TO SALVAGE ANY REMOVED STRUCTURES, ARCHITECTURAL COMPONENTS, WINDOWS, FIXTURES, EQUIPMENT OR HARDWARE FOR SALE OR RE-USE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER'S REPRESENTATIVE ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE.
- EXISTING STRUCTURAL COLUMNS, BEAMS AND WALLS SHALL REMAIN U.N.O.
- TEMPORARY SUPPORT OF RAFTERS SHALL BE PROVIDED WHERE ROOF STRUCTURE OR WALLS SUPPORTING ROOF STRUCTURE ARE TO BE REMOVED.
- TEMPORARY SUPPORT OF JOISTS SHALL BE PROVIDED WHERE BEARING WALLS ARE TO BE REMOVED.
- TEMPORARY SUPPORT OF THE FLOOR STRUCTURE SHALL BE PROVIDED WHERE FLOOR AREAS ARE PARTIALLY REMOVED.
- SOME PLUMBING FIXTURES AND PIPING SHALL BE REMOVED. PLUG ALL ABANDONED PIPING AND FLOOR DRAINS EVEN WITH THE FLOOR OR WALL SURFACE.
- ALL GAS EQUIPMENT AND PIPING SHALL BE REMOVED. GAS-TORCH CUTTING OF GAS PIPING SHALL NOT BE PERMITTED.
- DISCONNECT EXISTING ELECTRICAL SERVICE AT SERVICE ENTRY AND PROPERLY CAP ALL EXPOSED WIRING AS PER CODE.
- ALL UTILITIES SHALL BE IDENTIFIED, CAPPED, TERMINATED, AND PROPERLY ISOLVED SO THAT NO DAMAGE OCCURS TO PARTS OF ANY SYSTEM THAT ARE TO REMAIN OR SERVE OTHER BUILDINGS THAT ARE NOT PART OF THE DEMOLITION CONDITIONS.
- FILL AT DOOR OPENINGS SHALL MATCH SURROUNDING CONSTRUCTION AS NEARLY AS POSSIBLE.
- INASMUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPENDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING THE OWNER AGREES THAT, EXCEPT FOR NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL, THE OWNER WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL FROM AND AGAINST ANY CLAIMS ARISING OUT OF THE PROFESSIONAL SERVICES PROVIDED UNDER THIS AGREEMENT.
- WHERE NEW CONSTRUCTION IS SHOWN IN ALIGNMENT WITH EXISTING COLUMNS OR THE EDGE OF AN EXISTING MASONRY OPENING THE ALIGNMENT SHOULD BE MAINTAINED. ANY EXISTING CONDITIONS WHICH PROHIBIT NEW CONSTRUCTION IN CONFORMANCE WITH THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.



Project: **513 E. Main**

Project No: **23030**

Location: **513 E. Main St. Elizabeth City, NC**

Title: **Cover Sheet**

Date: **July 11, 2023**

Scale: **1/4" = 1'-0"**

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	A102	Second Floo & Roof Plans
031	A201	Building Sections
051	A301	Details
011	PRL1	Preliminary

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



Revisions:

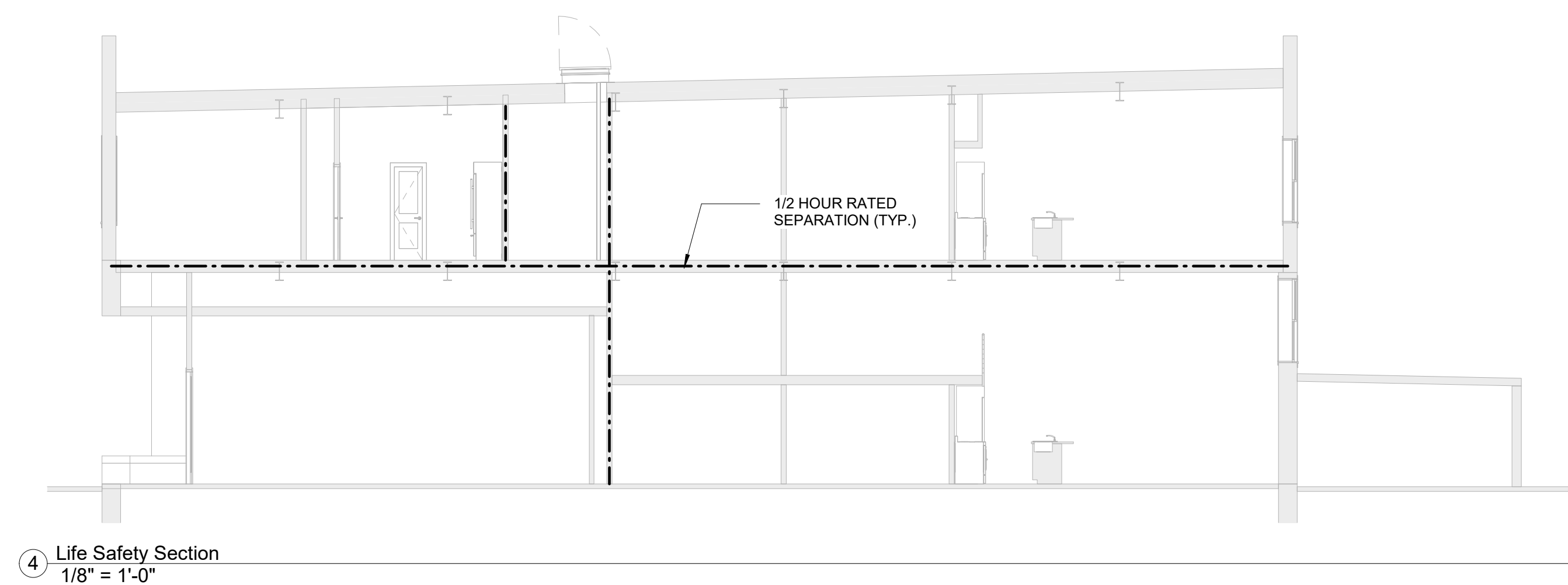
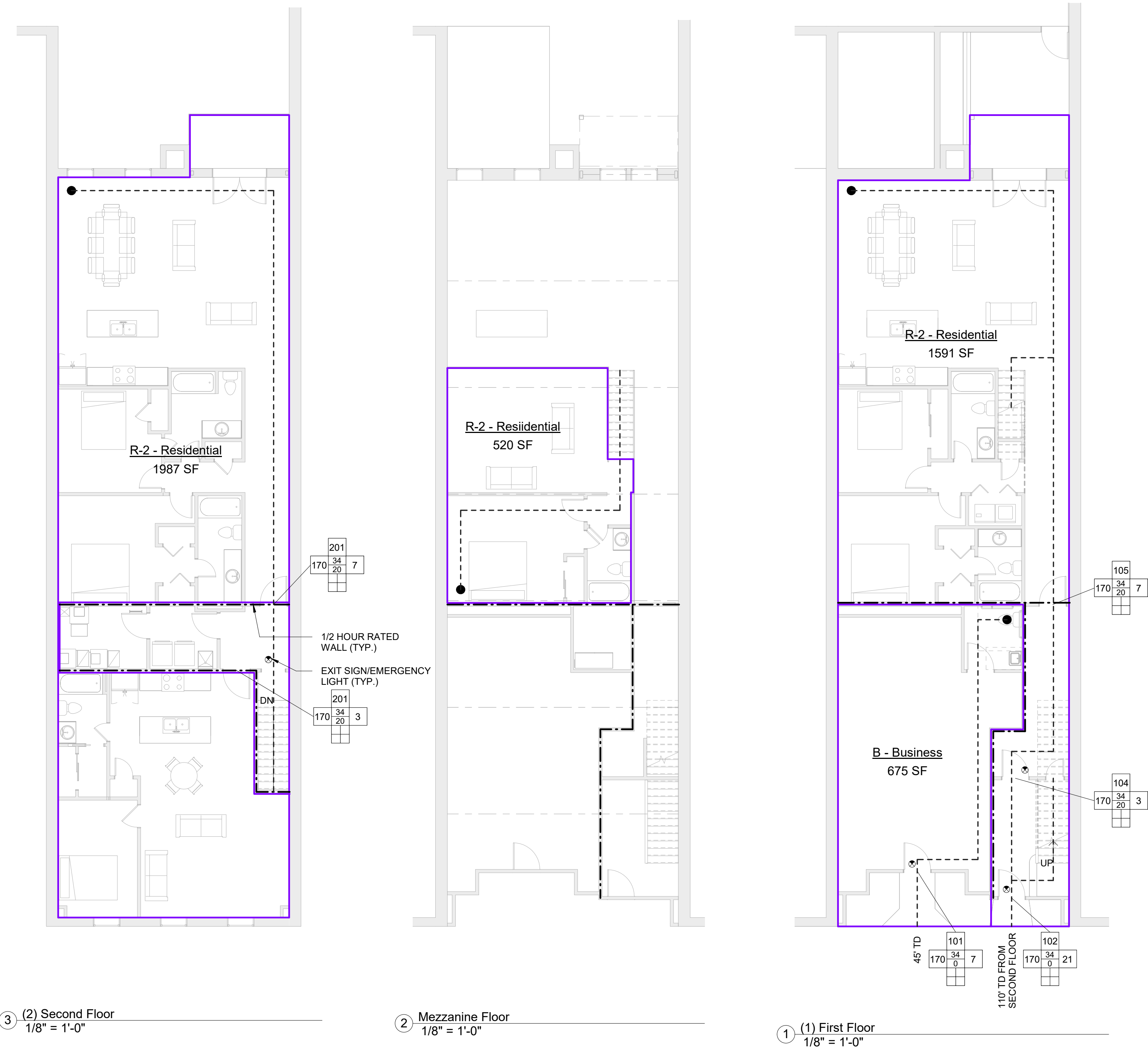
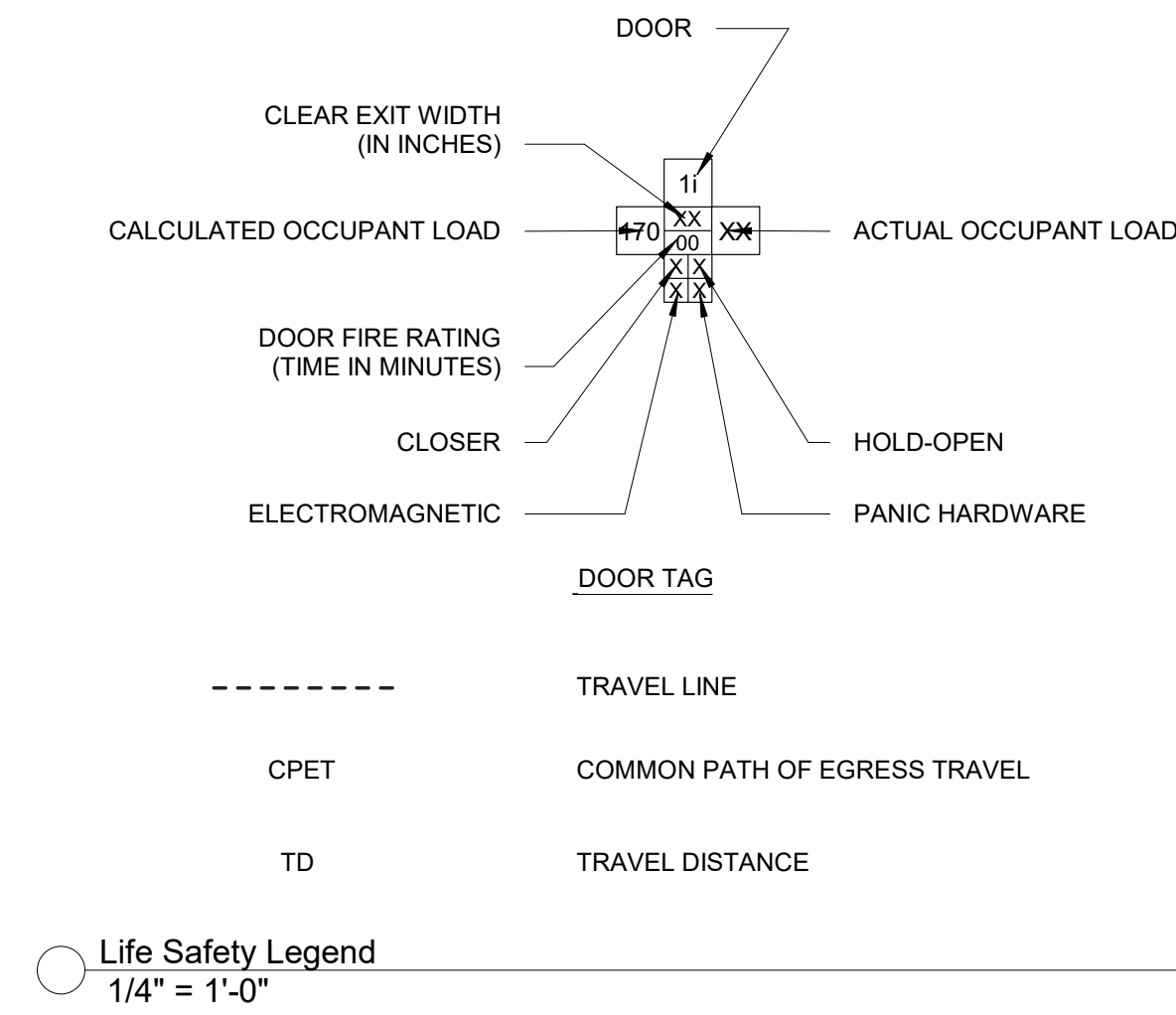
No.	Description	Date

Designed: Designer  
Drawn: Author  
Reviewed: Checker  
Cad File:

# A001



Occupant Schedule					
Name	Area	Occupancy	Occupancy S.F. Type	Area Per Occupant	Occupants
(1) First Floor					
B - Business	675 SF	Business Areas	Gross	100 SF	7
R-2 - Residential	1591 SF	Residential	Gross	200 SF	8
Mezzanine Floor					
R-2 - Residential	520 SF	Residential	Gross	200 SF	3
(2) Second Floor					
R-2 - Residential	1987 SF	Residential	Gross	200 SF	10
					28



Project: **513 E. Main**  
 Project No: **23030**  
 Location: **513 E. Main St. Elizabeth City, NC**  
 Title: **Life Safety Plans**  
 Date: **Ju.y 11, 2023**  
 Scale: **As indicated**

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Revisions:

No.	Description	Date

Designed: Designer  
 Drawn: Author  
 Reviewed: Checker  
 Cad File:

**A003**

Door Schedule Res				
Mark	Door Style	Door		Comments
		Width	Height	
A	Exterior - Double Swing Full Light	6'-0"	6'-8"	
B	Interior - Single Swing Fire Door	3'-0"	6'-8"	20 MIN FIRE RATED DOOR
C	Interior - Single Swing	3'-0"	6'-8"	
D	Interior - Single Swing	2'-10"	6'-8"	
E	Interior - Single Swing	2'-6"	6'-8"	
F	Interior - Single Swing	2'-0"	6'-8"	
G	Interior - Double Bi-Fold	5'-0"	6'-8"	
H	Interior - Single Bi-Fold	3'-0"	6'-8"	
I	Interior - Bi-Pass	5'-0"	6'-8"	
J	Interior - Bi-Pass	4'-0"	6'-8"	
K	Interior - Single Pocket	2'-0"	6'-8"	



4 First Floor Demolition Plan  
3/16" = 1'-0"

1 (2) Mezzanine Floor Plan  
3/16" = 1'-0"

3 First Floor Plan  
3/16" = 1'-0"

Window Schedule											
Type Mark	Model	Type	Manufacturer	R.O.	R.O.	Thermal Resistance (R)	Heat Transfer Coefficient (U)	Solar Heat Gain Coefficient	Visual Light Transmittance	Head Height	Comments
				Width	Height						
A	Fixed	36" x 60"	TBD	3'-1"	5'-1"	2.8571 (h-ft <sup>2</sup> -F)/BTU	0.3500 BTU/(h-ft <sup>2</sup> -F)	0.26	0.42	13'-2"	
B	Fixed	36" x 36"	TBD	3'-1"	3'-1"	2.8571 (h-ft <sup>2</sup> -F)/BTU	0.3500 BTU/(h-ft <sup>2</sup> -F)	0.26	0.42	11'-1"	

Project: **513 E. Main**  
Project No: **23030**  
Location: **513 E. Main St. Elizabeth City, NC**  
Title: **First & Mezzanine Floor Plans**  
Date: **July 11, 2023**  
Scale: **3/16" = 1'-0"**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



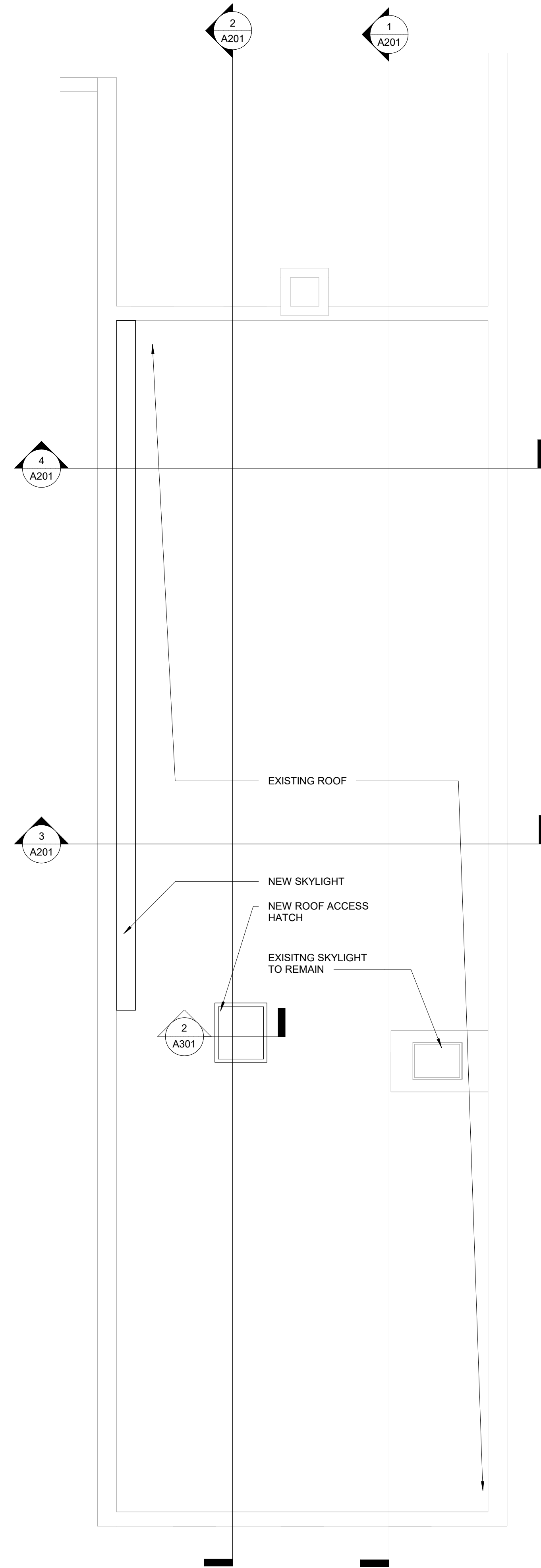
Revisions:

No.	Description	Date

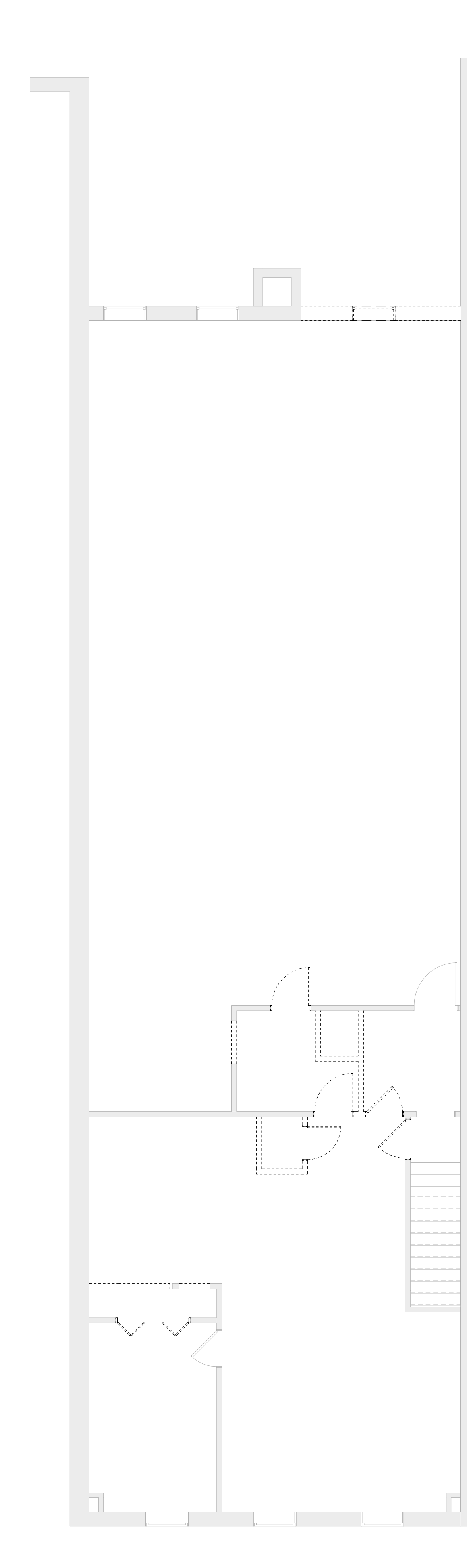
Designed: Designer  
Drawn: Author  
Reviewed: Check  
Cad File:

**A101**

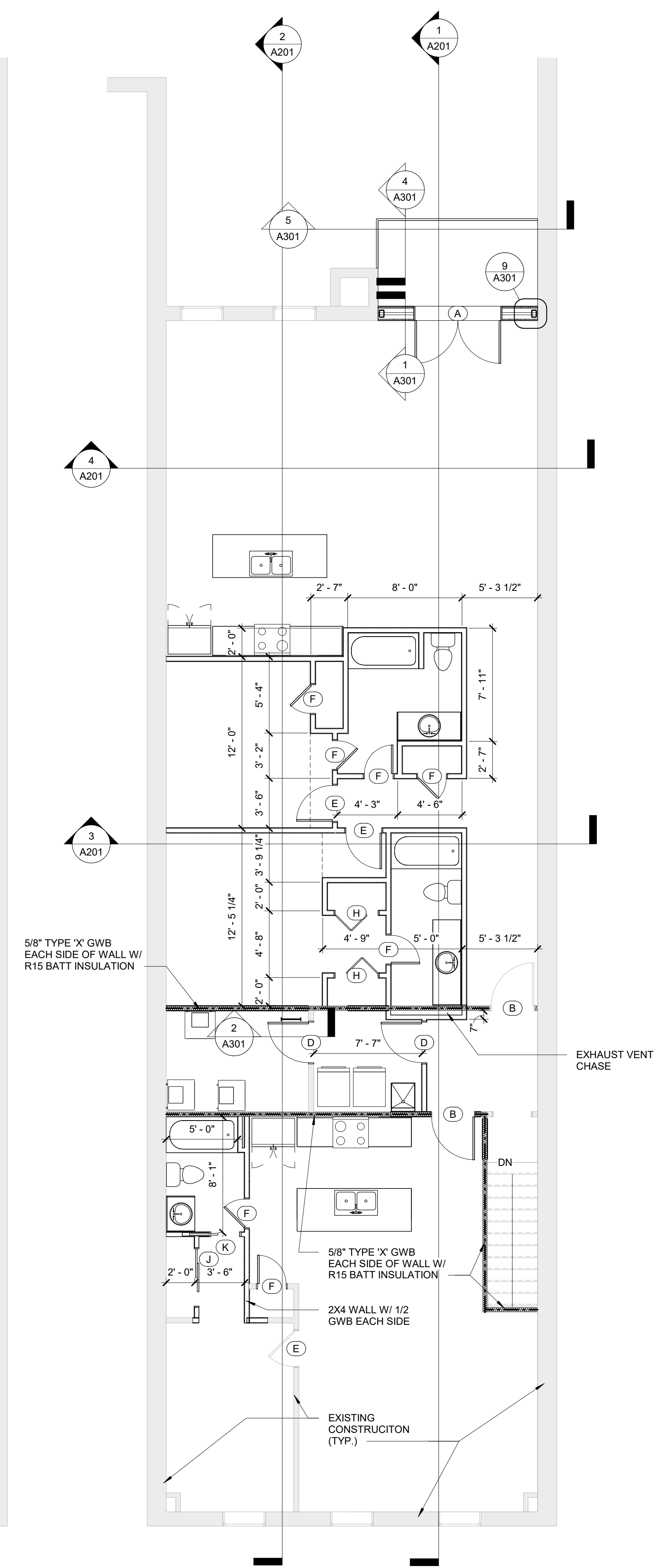
Door Schedule Res				
Mark	Door Style	Door		Comments
		Width	Height	
A	Exterior - Double Swing Full Light	6' - 0"	6' - 8"	
B	Interior - Single Swing Fire Door	3' - 0"	6' - 8"	20 MIN FIRE RATED DOOR
C	Interior - Single Swing	3' - 0"	6' - 8"	
D	Interior - Single Swing	2' - 10"	6' - 8"	
E	Interior - Single Swing	2' - 6"	6' - 8"	
F	Interior - Single Swing	2' - 0"	6' - 8"	
G	Interior - Double Bi-Fold	5' - 0"	6' - 8"	
H	Interior - Single Bi-Fold	3' - 0"	6' - 8"	
I	Interior - Bi-Pass	5' - 0"	6' - 8"	
J	Interior - Bi-Pass	4' - 0"	6' - 8"	
K	Interior - Single Pocket	2' - 0"	6' - 8"	



③ Roof Plan  
3/16" = 1'-0"



② Second Floor Demolition Plan  
3/16" = 1'-0"



① Second Floor Plan  
3/16" = 1'-0"

Project: 513 E. Main  
Project No: 23030  
Location: 513 E. Main St.  
Elizabeth City, NC  
Title: Second Floor & Roof Plans  
Date: July 11, 2023  
Scale: 3/16" = 1'-0"

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.



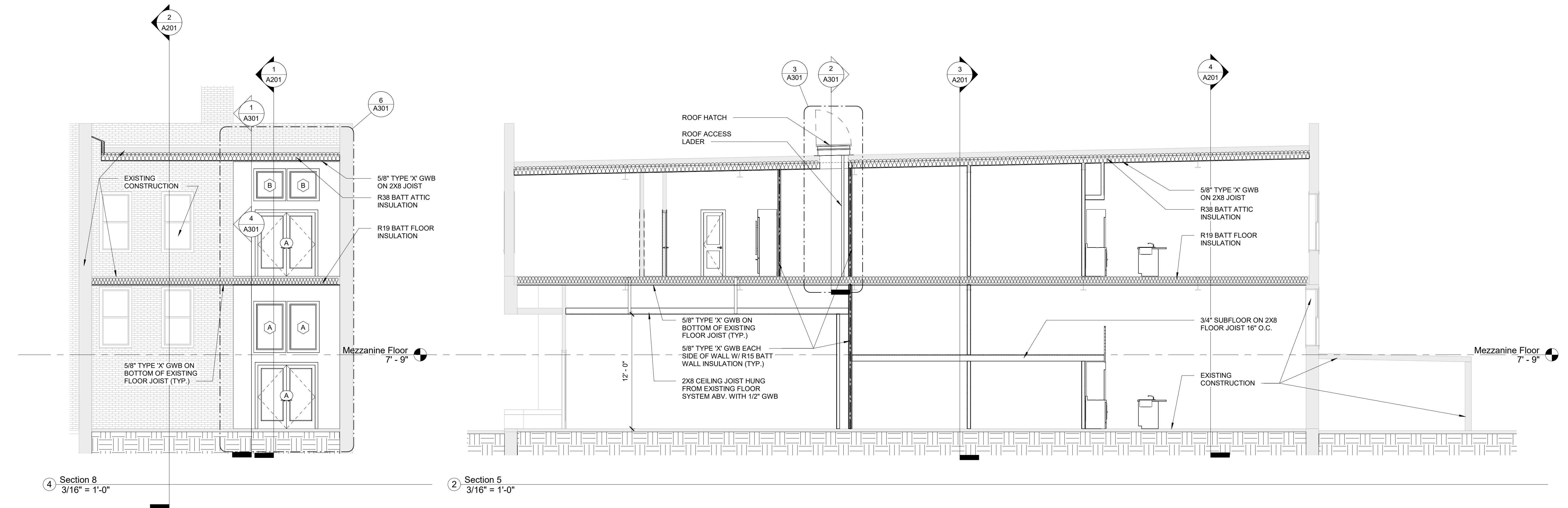
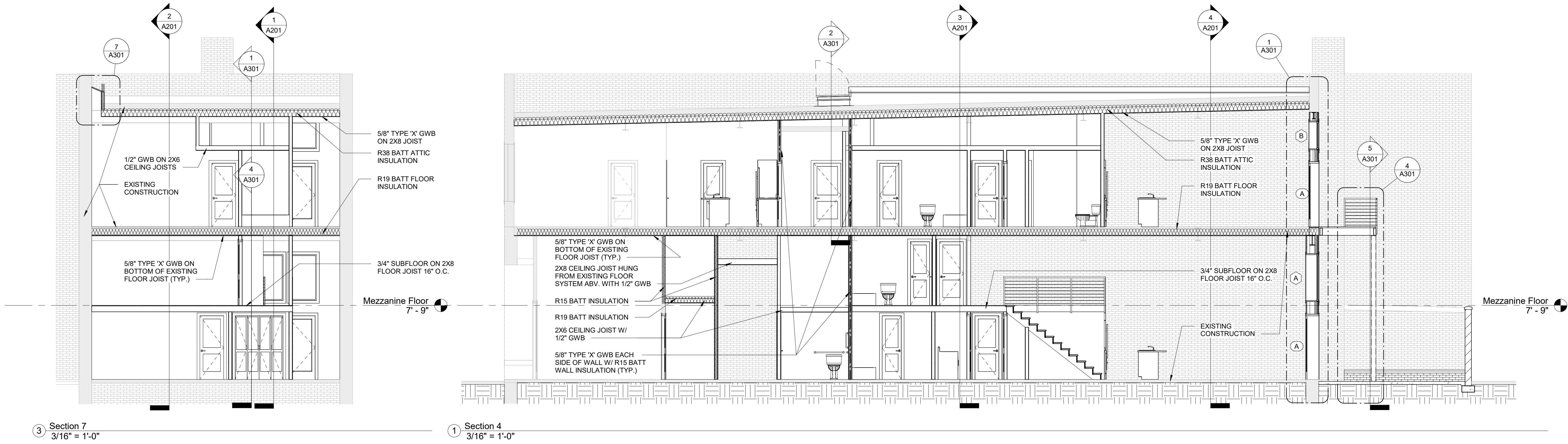
Revisions:

No.	Description	Date

Designed: Designer  
Drawn: Author  
Reviewed: Check  
Cad File:

A102

Window Schedule											
Type Mark	Model	Type	Manufacturer	R.O.	R.O.	Thermal Resistance (R)	Heat Transfer Coefficient (U)	Solar Heat Gain Coefficient	Visual Light Transmittance	Head Height	Comments
				Width	Height						
A	Fixed	36" x 60"	TBD	3' - 1"	5' - 1"	2.8571 (h-ft <sup>2</sup> -F)/BTU	0.3500 BTU/(h-ft <sup>2</sup> -F)	0.26	0.42	13' - 2"	
B	Fixed	36" x 36"	TBD	3' - 1"	3' - 1"	2.8571 (h-ft <sup>2</sup> -F)/BTU	0.3500 BTU/(h-ft <sup>2</sup> -F)	0.26	0.42	11' - 1"	



Project: **513 E. Main**  
 Project No: **23030**  
 Location: **513 E. Main St. Elizabeth City, NC**  
 Title: **Building Sections**  
 Date: **July 11, 2023**  
 Scale: **3/16" = 1'-0"**

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Revisions:

No.	Description	Date

Designed: Designer  
 Drawn: Author  
 Reviewed: Checker  
 Cad File:

**A201**

Project: **513 E. Main**

Project No: **23030**

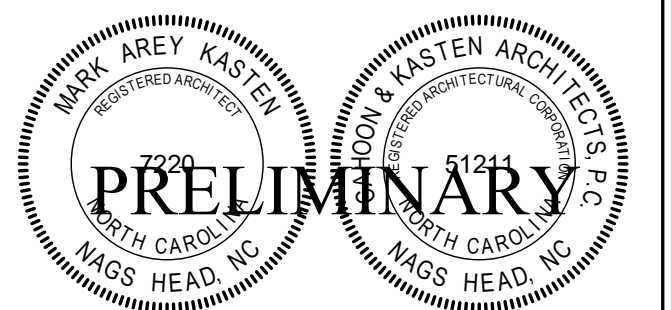
Location: **513 E. Main St.  
Elizabeth City, NC**

Title: **Details**

Date: **Ju.y 11, 2023**

Scale: **1/2" = 1'-0"**

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the project.

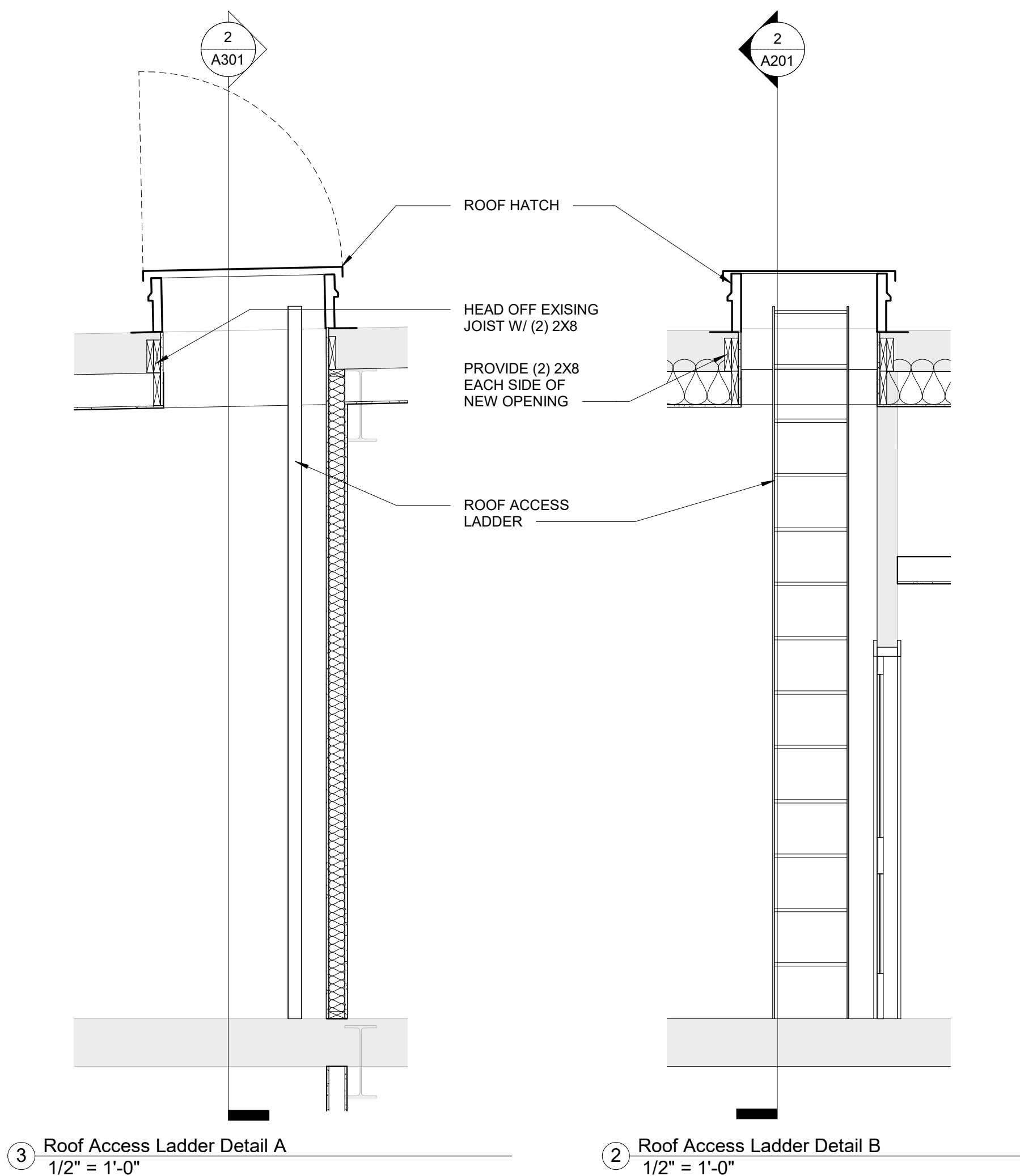


Revisions:

No.	Description	Date

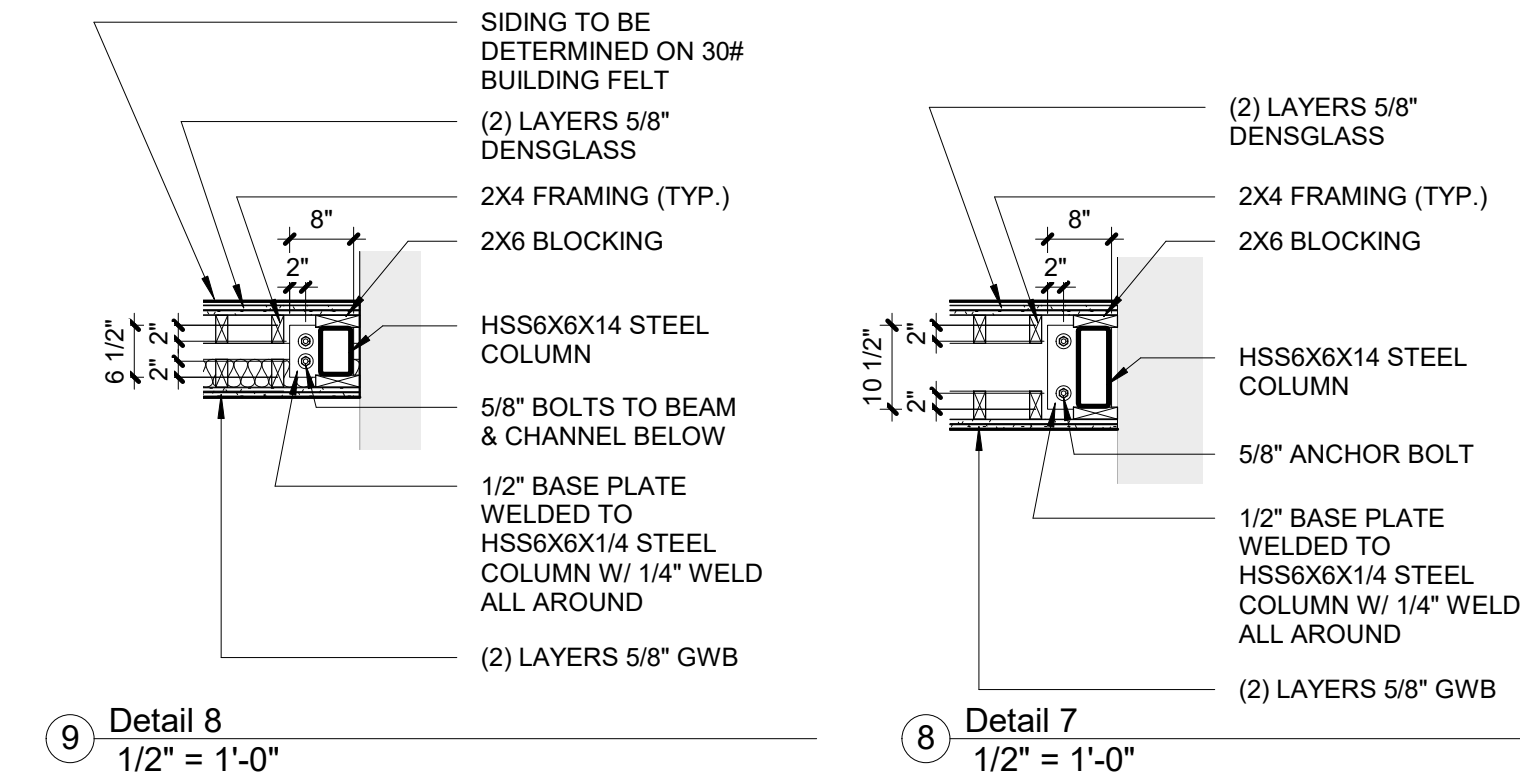
Designed: Designer  
Drawn: Author  
Reviewed: Check  
Cad File:

**A301**



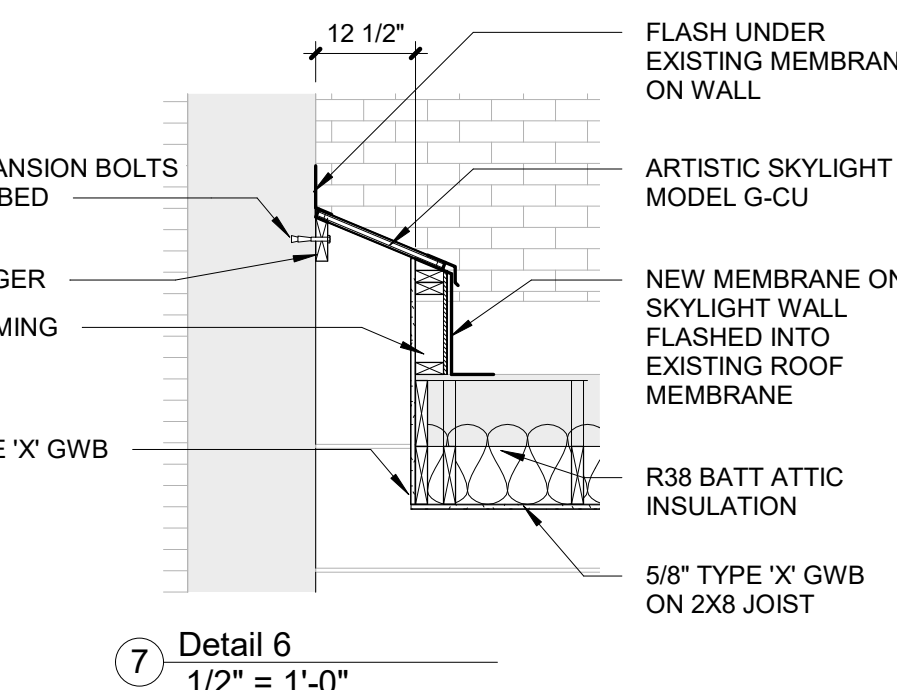
3 Roof Access Ladder Detail A  
1/2" = 1'-0"

2 Roof Access Ladder Detail B  
1/2" = 1'-0"

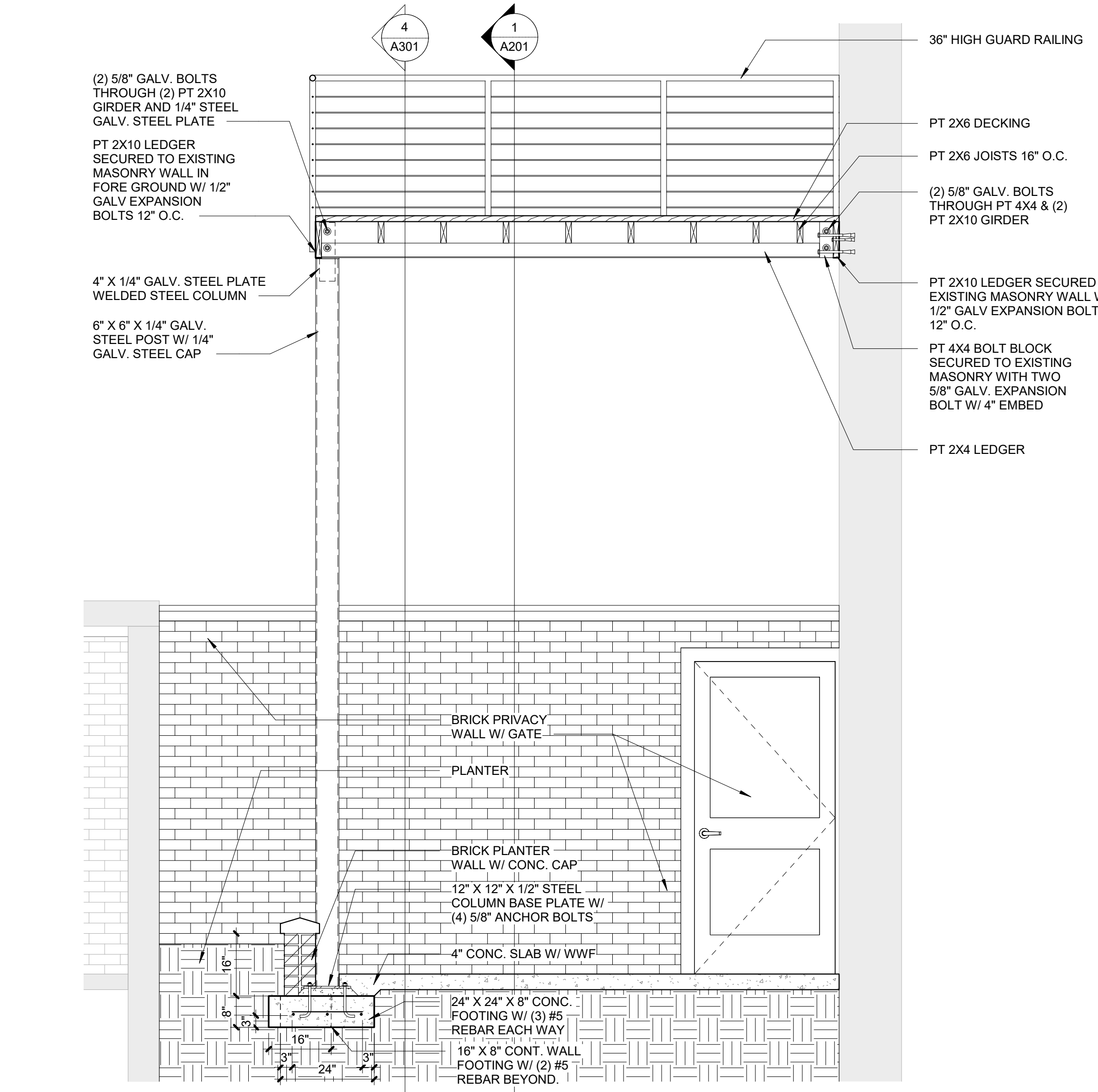


9 Detail 8  
1/2" = 1'-0"

8 Detail 7  
1/2" = 1'-0"

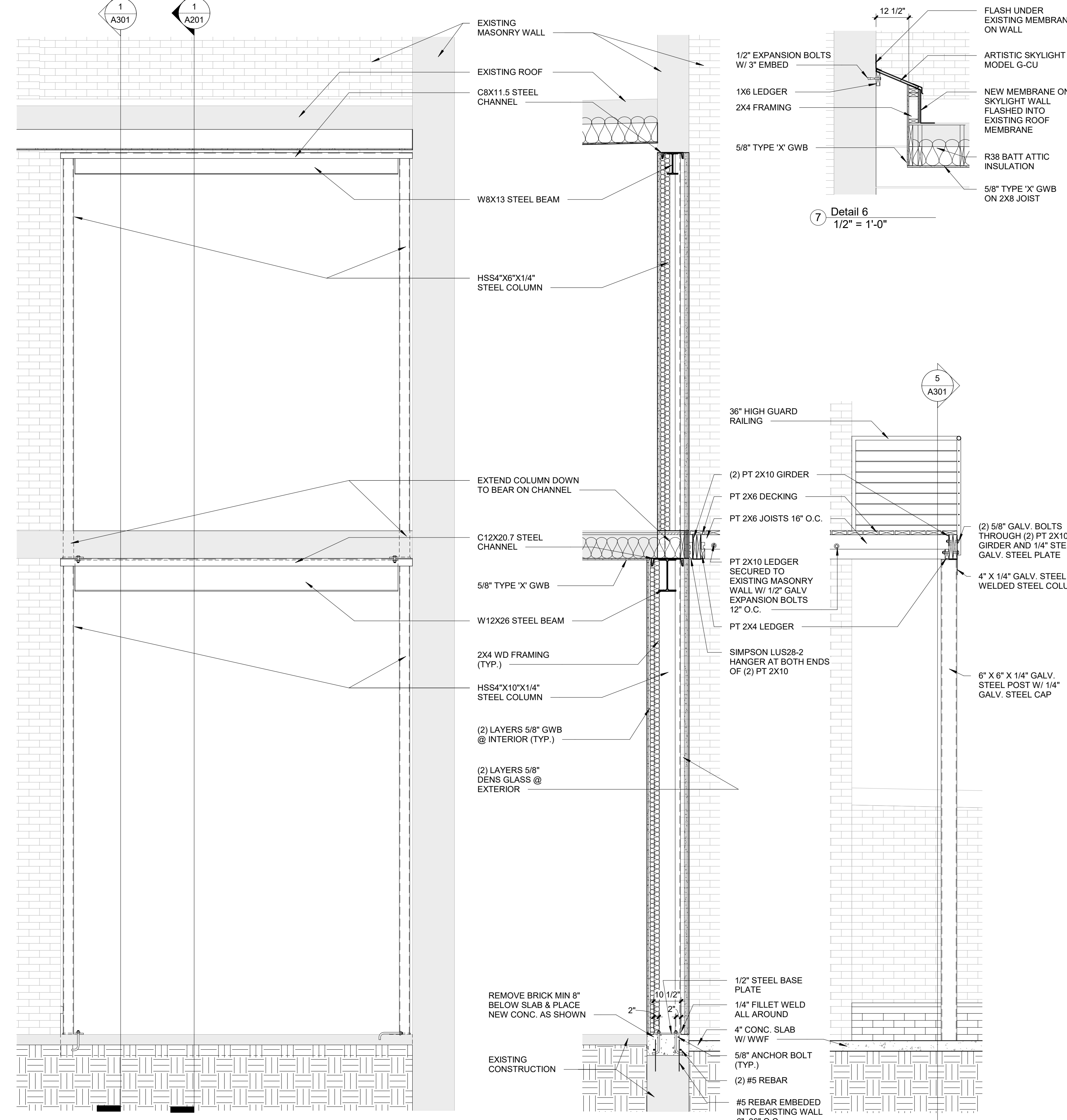


7 Detail 6  
1/2" = 1'-0"



5 Detail 4  
1/2" = 1'-0"

6 Rear Wall Opening Steel Framing Detail  
1/2" = 1'-0"



1 Wall Section A  
1/2" = 1'-0"

4 Detail 2  
1/2" = 1'-0"