# 513 E. Main

#### ARREVIATIONS

ABBREVIA	ATIONS		
IR1S	(1) ROD + (1) SHELF	NCSBC	NORTH CAROLINA STATE BUILDING CODE
ACI	ÀMERICAN CONCRETE INSTITUTE	N.I.C.	NOT IN CONTRACT
ACT	ACOUSTICAL CEILING TILE	NO.	NUMBER
AFF	ABOVE FINISH FLOOR	NOM.	NOMINAL
AFG	ABOVE FINISH GRADE	O.C.	ON CENTER
AHU	AIR HANDLING UNIT	O.D.	OVERFLOW DRAIN/OUTSIDE DIAMETER
ALUM.	ALUMINUM	O.H.	OPPOSITE HAND
AM NDOLL	ANTE MERIDEN	OPNG.	OPENING
ARCH.	ARCHITECTURAL	O/S	OUTSIDE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS		OPEN TO BELOW
BFE	BASE FLOOD ELEVATION	PC	PLUMBING CONTRACTOR
3.0.	BOTTOM OF	PH	PHASE
CJ	CONTROL JOINT	PJ	PANEL JOINT
CAB.	CABINET	PL	POINT LOAD
CLG	CEILING	P-LAM	PLASTIC LAMINATE
CMU	CONCRETE MASONRY UNIT	PME	PLUMBING, MECHANICAL, & ELECTRICAL
CO	CLEANOUT	PP	PUSH PAD
CONC.	CONCRETE	PSF	POUNDS PER SQUARE FOOT
CONT.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CPET	COMMON PATH OF EXIT TRAVEL	PSL	PARALLEL STRAND LUMBER
CW	COLD WATER	P.T.	PRESSURE TREATED
DBL .	DOUBLE	PNTD	PAINTED
	DOOR	P.W. / PWD	
DR.			PLYWOOD
DWG.	DRAWING	RC	REINFORCED CONCRETE
DWV	DRAIN/ WASTE/ VENT	RCP	REFLECTED CEILING PLAN
OS	DOWNSPOUT	RD	ROOF DRAIN
OTL.	DETAIL	REINF	REINFORCED OR REINFORCING
EC	ELECTRICAL CONTRACTOR	REQ'D	REQUIRED
ΞJ.	EXPANSION JOINT	RL	ROOF LEADER
ELECT.	ELECTRICAL	RUB	RUBBER
ELEV.	ELEVATION	SAN	SANITARY
ETC.	ETCETERA	SF	SQUARE FOOT OR SQUARE FEET
E.T.R.	EXISTING TO REMAIN	SIM	SIMILAR
EWC	ELECTRIC WATER COOLER	SP	SOUTHERN PINE
EXIST.	EXISTING	SPF	SPRUCE/ PINE/ FIR
EXT.	EXTERIOR	SS	STAINLESS STEEL
BGLS.	FIBERGLASS	STOR	STOREFRONT
-CP	FIBER CEMENT PANEL	STL.	STEEL
-D	FLOOR DRAIN	TD	TRAVEL DISTANCE
FF	FINISH FLOOR	TME	TO MATCH EXISTING
EC	FIRE EXTINGUISHER CABINET	T.O.	TOP OF
=J	FALSE JOINT	T.O.P.	TOP OF PLATE
-LR.	FLOOR	TRD.	TREAD
ЭC	GENERAL CONTRACTOR	TYP.	TYPICAL
GA.	GAUGE	U.N.O.	UNLESS NOTED OTHERWISE
GALV.	GALVANIZED	V	VOLT/ VOLTAGE
GEN	GENERAL	VCT	VINYL COMPOSITE TILE
GS	GANG STUD	VERT.	VERTICAL
GWB	GYPSUM WALL BOARD	VIF	VERIFY IN FIELD
H/C	HANDICAPPED	W/	WITH
HDWR	HARDWARE	WGL	WIRE GLASS
HM	HOLLOW METAL	WD	WOOD
HORIZ.	HORIZONTAL	WD	WOOD
HP	HEAT PUMP		
M	ICEMAKER		
NSUL.	INSULATION		
NT.	INTERIOR		
<b>W</b>	KILOWATT		
LOCS.	LOCATIONS		
_SL	LAMINATED STRAND LUMBER		
MAX.	MAXIMUM		
МВТ	MARBLE THRESHOLD		
MC	MECHANICAL CONTRACTOR		
ИСЈ	MASONRY CONTROL JOINT		
MEJ	MASONRY EXPANSION JOINT		
MECH	MECHANICAL		

## GENERAL CONSTRUCTION NOTES

MFR.

MIN.

MECHANICAL

METAL

MANUFACTURER MINIMUM

METAL THRESHOLD

- 1. THESE DRAWINGS CONTAIN THE MINIMUM INFORMATION NECESSARY FOR ANY REPUTABLE CONTRACTOR TO UNDERTAKE CONSTRUCTION. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY FOR THE COMPLETION OF THE PROJECT. HE SHALL COMPLETE THE WORK IN THE BEST AND MOST WORKMANLIKE MANNER, AND DO EVERYTHING PROPERLY INCIDENTAL THERETO, AS SHOWN ON THE PLANS, REQUIRED BY ALL APPLICABLE CODES, AS RECOMMENDED BY PRODUCT MANUFACTURERS, AND IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- ALL WORK SHALL BE IN COMPLIANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE THE CONTRACTOR SHALL VERIFY DIMENSIONS BEFORE BEGINNING WORK. DIMENSIONS FOR NEW CONSTRUCTION SHOULD BE HELD TO THE MAXIMUM EXTENT POSSIBLE. 4. PREMISES OF THE ENTIRE JOB SITE WILL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION

DURING THE ENTIRE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL CONFORM TO ALL

- REQUIREMENTS OF OSHA. 5. PRIOR TO THE FINAL PAYMENT THE CONTRACTOR SHALL GIVE TO THE OWNER A LABELED BINDER CONTAINING A LIST OF ALL SUPPLIERS AND SUBCONTRACTORS WITH ADDRESSES AND PHONE NUMBERS, GUARANTEES, AND OPERATION AND MAINTENANCE MANUALS OF ALL EQUIPMENT. THE
- CONTRACTOR SHALL WARRANT THE WORK FOR A PERIOD OF ONE YEAR 6. IF A PORTION OF THE WORK HAS BEEN COVERED WHICH THE ARCHITECT HAS NOT SPECIFICALLY REQUESTED TO OBSERVE PRIOR TO ITS BEING COVERED, THE ARCHITECT MAY REQUEST TO SEE SUCH WORK AND IT SHALL BE UNCOVERED BY THE CONTRACTOR. IF SUCH WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, COSTS OF UNCOVERING AND REPLACEMENT SHALL, BY APPROPRIATE CHANGE ORDER, BE CHARGED TO THE ARCHITECT. IF SUCH WORK IS NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PAY SUCH COSTS UNLESS THE CONDITION WAS CAUSED BY THE OWNER OR A SEPARATE CONTRACTOR IN WHICH EVENT THE OWNER SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH COSTS. THE CONTRACTOR SHALL PROMPTLY CORRECT THE WORK REJECTED BY THE ARCHITECT OR FAILING TO CONFORM TO
- THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. ALL CONCRETE SHALL BE 3000 PSI MINIMUM, AND ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF THE ACI AND ASTM.
- 8. LIGHT GAUGE STEEL FRAMING SHALL BE IN ACCORDANCE WITH THE LIGHT-GAUGE STEEL FRAMING CONSTRUCTION MANUAL AND AS PER ASTM A446, A570, OR A611.
- 9. REINFORCING BARS FOR CONCRETE WORK SHALL BE GRADE 60, DEFORMED AS PER ASTM A615. 10. WELDED WIRE FABRIC SHALL BE AS PER ASTM A185 OF SIZES AND TYPE AS SHOWN ON DRAWINGS. 11. METAL TIE DOWN STRAPS, ANCHORS AND CLIPS SHALL BE AS PER "SIMPSON STRONGTIE" OR
- 12. WOOD FRAMING AND BLOCKING SHALL BE #2 SPF OF THE SIZES INDICATED AND SHALL HAVE A MIN. Fb VALUE OF 1200 PSI. 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ROOFING IN ACCORDANCE WITH NRCA REQUIREMENTS AND THE ROOFING PRODUCT MANUFACTURER'S RECOMMENDATIONS INCLUDING
- WATERPROOFING OF ALL PENETRATIONS AND SUPPORTS FOR MECHANICAL EQUIPMENT, AND AS SHOWN ON DRAWINGS 14. THE CONTRACTOR SHALL DETERMINE BEFORE BEGINNING WORK WHETHER AN ELEVATION
- CERTIFICATE WILL BE REQUIRED AND SHALL OBTAIN THE CERTIFICATE AT THE EARLIEST OPPORTUNITY. ONE COPY MUST BE PROVIDED FOR THE OWNER. 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION. INSULATION SHALL BE INSTALLED IN FULL CONTACT WITH SHEATHING AND GWB OF WALL CAVITY. FLOOR AND CEILING INSULATION SHALL BE IN FULL CONTACT WITH GWB. INSULATION SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS, WITH NO SUBSTANTIAL GAPS, VOIDS, COMPRESSION OR WIND
- 16. SOIL SHALL BE FREE OF ORGANIC MATERIAL AND CONSOLIDATED TO BE CAPABLE OF 1,500 PSF
- AND LIMIT LONG TERM SETTLEMENT. 17. CAULK ALL GAPS IN FRAMING AND SHEATHING AT FRAMING ROUGH-IN. CAULK GAPS IN GWB NOT SEALED BY TAPE AND JOINT COMPOUND. AIR TIGHTNESS SHALL BE LESS THAT OR EQUAL TO .30 CFM50 PER SQUARE FOOT OF CONDITIONED ENVELOPE AREA.

- 1. IT IS THE INTENT OF THESE DRAWINGS TO GIVE THE PLUMBING CONTRACTOR A GENERAL LAYOUT OF THE PLUMBING FIXTURES REQUIRED FOR THIS PROJECT. IT IS THE RESPONSIBILITY OF THE PLUMBING CONTRACTOR TO PROVIDE ALL INDICATED EQUIPMENT, FIXTURES AND REQUIRED MATERIALS, PIPING, TOOLS, AND RELATED APPURTENANCES FOR A COMPLETE AND SAFE PLUMBING SYSTEM.
- 2. THE PLUMBING CONTRACTOR SHALL COORDINATE ELECTRICAL REQUIREMENTS FOR PLUMBING FOUIPMENT WITH THE FLECTRICAL CONTRACTOR
- 3. ALL PLUMBING FIXTURES SHALL BE WHITE. PRODUCT SELECTION SHALL BE APPROVED BY
- 4. ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS
- 5. CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE AND UNDUE DIRT. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH FIXTURE AND REPLACE ANY DAMAGED FIXTURES.
- 6. THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZE OF CHASES AND OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR AT HIS
- 7. PIPING SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE. SPACES AROUND PIPES WHERE THEY PENETRATE WALLS, FLOORS AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL

- 1. THE MECHANICAL CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT FOR HEATING, COOLING AND VENTILATING THE SPACES SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT HIS OWN WORK IN CONFORMANCE WITH THE CODE AND GOOD PRACTICE AND FOR THE SAFETY AND GOOD CONDITION OF ALL WORK, MATERIAL AND EQUIPMENT INCLUDED IN HIS CONTRACT. PROVIDE LAYOUT AND EQUIPMENT SPECIFICATIONS TO THE ARCHITECT BEFORE BEGINNING WORK. THE MECHANICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF THE PLUMBING AND ELECTRICAL CONTRACTORS. 3. ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE
- MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS 4. BEFORE ACCEPTANCE OF HIS WORK, THE CONTRACTOR MUST ADJUST AND BALANCE THE SYSTEMS AND EACH PIECE OF EQUIPMENT TO ASSURE THE CORRECT OPERATION. CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE AND
- UNDUE DIRT. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH PIECE OF EQUIPMENT AND REPLACE ANY DAMAGED EQUIPMENT. A NEW SET OF FILTERS SHALL BE INSTALLED ON THE COMPLETION OF FINAL PAINTING AND CLEANING. THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED
- FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZE OF CHASES AND OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR AT HIS EXPENSE. 6. DUCTWORK SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE.
- SPACES AROUND DUCTS WHERE THEY PENETRATE WALLS, FLOOR AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL. WHERE DUCTS PENETRATE UNIT PARTITIONS THEY SHALL BE EQUIPPED WITH AUTOMATIC FIRE DAMPERS. 7. HEAT PUMPS SHALL HAVE A MINIMUM SEER RATING OF 14 AND A MINIMUM HSPF OF 8.2. 8. ALL DUCT CONNECTIONS SHALL BE SEALED WITH A UL LISTED "BUCKET" MASTIC PRODUCT.
- DUCT LEAKAGE, MEASURED IN CUBIC FEET PER MINUTE AT 25 PASCALS, SHALL NOT EXCEED 3% OF THE CONDITIONED SQUARE FOOTAGE.
- PROVIDE CLOSURE AND SEAL AT DUCT CHASES THROUGH CEILING AND FLOOR

## **ELECTRICAL**

- 1. IT IS THE INTENT OF THESE DRAWINGS TO GIVE THE ELECTRICAL CONTRACTOR A GENERAL LAYOUT OF THE ELECTRICALSYSTEM REQUIRED FOR THIS PROJECT. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO PROVIDE ALL INDICATED EQUIPMENT. FIXTURES AND REQUIRED MATERIALS, WIRING, TOOLS, AND RELATED
- APPURTENANCES FOR A COMPLETE AND SAFE ELECTRICAL SYSTEM. THE WORK OF THE ELECTRICAL CONTRACTOR SHALL BE COMPLETED IN CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. THE ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE WORK OF THE PLUMBING AND MECHANICAL
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT HIS OWN WORK IN CONFORMANCE WITH THE WORK OF THE CODE AND GOOD PRACTICE AND FOR THE SAFETY AND GOOD CONDITION OF ALL WORK, MATERIAL AND EQUIPMENT INCLUDED IN
- 4. ALL MATERIALS SHALL BE NEW AND SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER, CONSISTENT WITH ACCEPTED TRADE PRACTICES AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- CARE SHALL BE TAKEN DURING CONSTRUCTION TO PROTECT THE SYSTEM FROM DAMAGE. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN EACH PIECE OF EQUIPMENT AND REPLACE ANY DAMAGED EQUIPMENT THE CONTRACTOR SHALL DETERMINE THE SIZE AND LOCATION OF ALL OPENINGS REQUIRED FOR THE INSTALLATION OF HIS WORK AND SHALL LAY OUT SUCH OPENINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER SIZE OF CHASES AND OPENINGS. SHOULD FAILURE TO ACCURATELY LAY OUT OPENINGS AT THE PROPER TIME OCCUR, ALL NECESSARY CUTTING AND PATCHING SHALL BE DONE BY THE CONTRACTOR
- CONDUIT SHALL BE SECURED RIGIDLY AND PERMANENTLY TO THE BUILDING STRUCTURE.
- SPACES AROUND CONDUITS WHERE THEY PENETRATE WALLS, FLOORS AND CEILINGS SHALL BE SEALED TIGHT WITH INCOMBUSTIBLE MATERIAL

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSULATION.

## **DEMOLITION NOTES**

- 1. THESE DRAWINGS ARE BASED ON FIELD OBSERVATIONS AND MEASUREMENTS OF THE EXISTING STRUCTURE. DIMENSIONS FOLLOWED BY A +/- MAY BE ADJUSTED TO MEET ACTUAL DISCREPANCIES IN THE DRAWINGS SHOULD BE ANTICIPATED. THE GENERAL CONTRACTOR SHALL RESOLVE SUCH DISCREPANCIES WITH REGARD TO THE BUILDING'S STRUCTURAL INTEGRITY.
- 2. ELECTRICAL SERVICE SHALL BE TERMINATED AS APPROPRIATE PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- TERMINATION OF GAS SERVICE SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF
- 4. THE GENERAL CONTRACTOR SHALL SEQUENCE THE WORK SO AS TO PROTECT THE EXISTING STRUCTURE FROM EXCESSIVE WATER DAMAGE, UNAUTHORIZED ACCESS, ETC.
- THE GENERAL CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO MAINTAIN THE **BUILDING'S STRUCTURAL INTEGRITY** 6. IT SHALL BE THE OWNER'S OPTION TO SALVAGE ANY REMOVED STRUCTURES.
- ARCHITECTURAL COMPONENTS, WINDOWS, FIXTURES, EQUIPMENT OR HARDWARE FOR SALE OR RE-USE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE OWNER'S REPRESENTATIVE ALL ITEMS TO BE SALVAGED PRIOR TO DEMOLITION AND REMOVAL OF MATERIALS FROM THE SITE. EXISTING STRUCTURAL COLUMNS, BEAMS AND WALLS SHALL REMAIN U.N.O.
- TEMPORARY SUPPORT OF RAFTERS SHALL BE PROVIDED WHERE ROOF STRUCTURE OR WALLS SUPPORTING ROOF STRUCTURE ARE TO BE REMOVED. 9. TEMPORARY SUPPORT OF JOISTS SHALL BE PROVIDED WHERE BEARING WALLS ARE TO
- BE REMOVED. 10. TEMPORARY SUPPORT OF THE FLOOR STRUCTURE SHALL BE PROVIDED WHERE FLOOR
- AREAS ARE PARTIALLY REMOVED.
- 11. SOME PLUMBING FIXTURES AND PIPING SHALL BE REMOVED. PLUG ALL ABANDONED PIPING AND FLOOR DRAINS EVEN WITH THE FLOOR OR WALL SURFACE.
- 12. ALL GAS EQUIPMENT AND PIPING SHALL BE REMOVED. GAS-TORCH CUTTING OF GAS
- PIPING SHALL NOT BE PERMITTED 13. DISCONNECT EXISTING ELECTRICAL SERVICE AT SERVICE ENTRY AND PROPERLY CAP ALL EXPOSED WIRING AS PER CODE.
- 14. ALL UTILITIES MUST BE CUT, CAPPED, TERMINATED, AND PROPERLY ISOLATED SO THAT NO DAMAGE OCCURS TO PARTS OF ANY SYSTEM THAT ARE TO REMAIN OR SERVE OTHER BUILDINGS THAT ARE NOT PART OF THE DEMOLITION. CONDITIONS

15. INFILL AT DOOR OPENINGS SHALL MATCH SURROUNDING CONSTRUCTION AS NEARLY AS

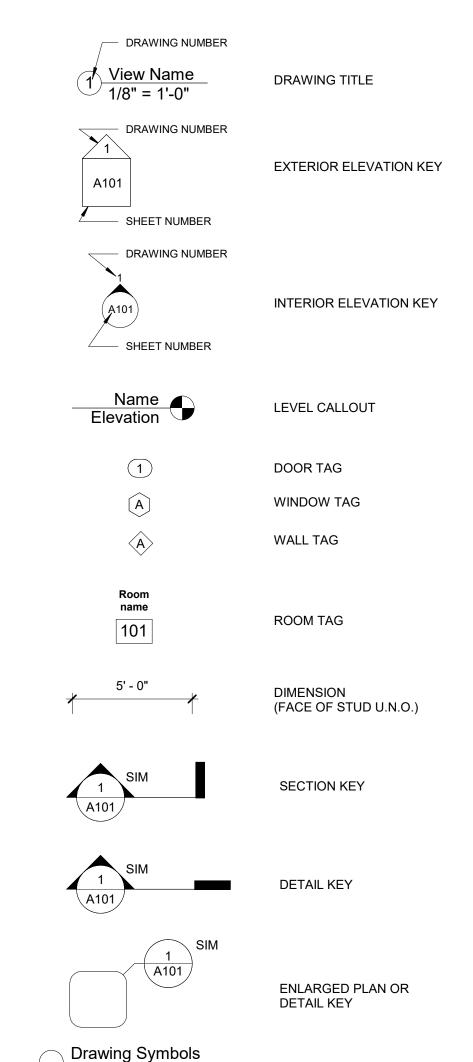
16. INASMUCH AS THE REMODELING AND/OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT EXPENDING ADDITIONAL SUMS OF MONEY, OR DESTROYING OTHERWISE ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING THE OWNER AGREES THAT, EXCEPT FOR

NEGLIGENCE ON THE PART OF THE DESIGN PROFESSIONAL THE OWNER WILL HOLD

HARMLESS, INDEMNIFY AND DEFEND THE DESIGN PROFESSIONAL FROM AND AGAINST ANY

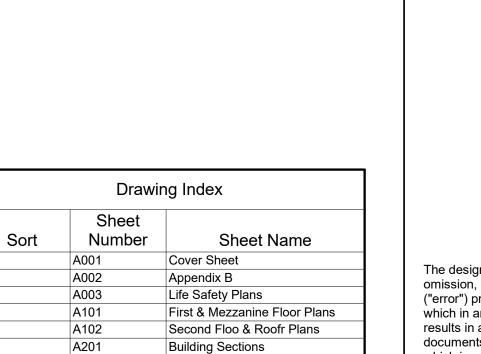
AND ALL CLAIMS ARISING OUT OF THE PROFESSIONAL SERVICES PROVIDED UNDER THIS

17. WHERE NEW CONSTRUCTION IS SHOWN IN ALIGNMENT WITH EXISTING COLUMNS OR THE EDGE OF AN EXISTING MASONRY OPENING THE ALIGNMENT SHOULD BE MAINTAINED. ANY EXISTING CONDITIONS WHICH PROHIBIT NEW CONSTRUCTION IN CONFORMANCE WITH THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.



1/4" = 1'-0"

PRL1



Preliminary



Project No: **23030** 513 E. Main St. Elizabeth City, NC Cover Sheet Ju.y 11, 2023 1/4" = 1'-0"

513 E. Main

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the



Revisions: Description

Reviewed: Checker

	,	2-FAMI		GS ANI	) TOWNHOUSE	L PROJECTS
Name of Project: 5	13 E. Main					
Address: 5	13 E. Main St.					
	lizabeth City, NC					
Owner/Authorized Age Phone #:			scoc.com			
Owned By:		County		Private	•	State
Code Enforcement Juri	<del></del> •			County	y	State
CONTACT: Mark b	Kasten, AIA	-	NAME	LIC#	TELEPHONE #	E-MAIL
Architectural	Cahoon + Kasten Archi		Mark Kasten	7220	252.441.0271	mark@obxarchitects.com
Civil						
Electrical	Atlantec Engineers, P.A	٨.	David J. Whitney	17382	919.571.1111	david@atlantecengineers.com
Fire Alarm Plumbing	Atlantas Engineers D./		James B. Delpapa	22025	919.571.1111	ii
Mechanical	Atlantec Engineers, P.A. Atlantec Engineers, P.A.		James B. Delpapa James B. Delpapa		919.571.1111	jim@atlantecengineers.com jim@atlantecengineers.com
Sprinkler-Standpipe			- 11			, 0
Structural						
Retaining Walls >5'h Other						
Other						
2018 NC EXISTING 1 CONSTRUCTED: ( RENOVATED: ( RISK CATEGORY (1	date)	Curr	CURREN PROPOS	ir ter 14 VT OCC ED OC	Alteration Le Alteration Le Alteration Le CUPANCY(S) (Che Cupa	evel II Change of Use evel III . 3):
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Primary Fire District	t: X No Y	es	Flood	Hazard . nspection	Area: No ons are required, o	Yes ontact the local inspection as and requirements.
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Primary Fire District	t: X No Y equired: X N	Gross Bu	Flood	Hazard . nspection n for add	Area: No ons are required, continual procedure	contact the local inspection as and requirements.
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Primary Fire District Special Inspections Re  FLOOR 4th Floor 3rd Floor	t: X No Y equired: X N	Gross Bu	Flood F Yes If special i jurisdiction nilding Area Tab STING (SQ FT)	Hazard . nspection n for add	Area: No ons are required, continual procedure	SUB-TOTAL  2245 SF
FLOOR 4th Floor 2nd Floor Mezzanine 1st Floor Basement	t: X No Y equired: X N	Gross Bu	Flood For Flood	Hazard . nspection n for add	Area: No ons are required, considered in the constant of the c	SUB-TOTAL  2245 SF  520 SF  2245 SF
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	Occupancy Classificat	ion(s).										
Assen		A-1 A-2 A-3	A-4 A-5									
Busin												
Educa	tional											
Factor	ry	F-1 Moderate F-2	Low									
Hazar	dous	H-1 Detonate H-2	Deflagrate H-3 Com	nbust H-4 Health	H-5 HPM							
Institu	utional		-1 & I-2 Condition  -3 Condition	$\begin{bmatrix} 1 & \boxed{2} \\ 1 & \boxed{2} & \boxed{3} \end{bmatrix}$	□4 □5							
Merca	antile $\Box$											
Reside	ential $\Box$	R-1 X R-2 R-3	R-4									
Storag	ge $\square$	S-1 Moderate Parking Garage	S-2 Low Open	High Pile Enclosed R	epair Garage							
Utility	and Miscellaneous	I arking Garage	Орен	Eliciosed K	cpair Garage							
Accessor	ry Occupancy Classific	ation(s):										
Incident	al Uses (Table 509):											
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Special U	U <b>ses</b> (Chapter 4 - List Co	de Sections):										
-	U <b>ses</b> (Chapter 4 - List Co <b>Provisions</b> (Chapter 5 - I	· · · · · · · · · · · · · · · · · · ·										
Special I	<b>Provisions</b> (Chapter 5 - I	List Code Sections):										
Special I	Provisions (Chapter 5 - I	List Code Sections):  No Yes S	eparation: Hr.	Exception:								
Special I	Provisions (Chapter 5 - I Occupancy:  X Non-Separated Us	ist Code Sections):  No Yes S e (508.3)	eparation: Hr.	Exception:	shall be such that							
Special I	Provisions (Chapter 5 - I	ist Code Sections):  No Yes S e (508.3)  8.4) See below for are	eparation: Hr.  ea calculations for each story tios of the actual floor area o	Exception:, the area of the occupancy								
Special I	Provisions (Chapter 5 - I Occupancy:  X Non-Separated Us	List Code Sections):  No Yes S e (508.3)  8.4) See below for are the sum of the ra for each use shall cupancy A	eparation: Hr.  ea calculations for each story tios of the actual floor area o	Exception:  , the area of the occupancy f each use divided by the a	llowable floor area							
Special I	Provisions (Chapter 5 - I Decupancy:  X Non-Separated Us  Separated Use (50	ist Code Sections):  No Yes S e (508.3)  8.4) See below for are the sum of the ra for each use shall cupancy A	eparation: Hr.  ea calculations for each story, tios of the actual floor area of the actual floor area.	Exception:, the area of the occupancy f each use divided by the a	llowable floor area							
Special I	Provisions (Chapter 5 - I Decupancy:  X Non-Separated Us  Separated Use (50  Actual Area of Oct	ist Code Sections):  No Yes S e (508.3)  8.4) See below for are the sum of the ra for each use shall cupancy A	eparation: Hr.  ea calculations for each story, the actual floor area of a not exceed 1.  Actual Area of Occupan	Exception:, the area of the occupancy f each use divided by the a	llowable floor area							
Special I	Provisions (Chapter 5 - I Decupancy:  X Non-Separated Us  Separated Use (50  Actual Area of Oct	ist Code Sections):  No Yes S e (508.3)  8.4) See below for are the sum of the ra for each use shall cupancy A	eparation: Hr.  ea calculations for each story, the actual floor area of a not exceed 1.  Actual Area of Occupan	Exception:, the area of the occupancy f each use divided by the a	llowable floor area							
Special I	Provisions (Chapter 5 - I Decupancy:  X Non-Separated Us  Separated Use (50  Actual Area of Oct	List Code Sections):  No Yes S  e (508.3)  8.4) See below for are the sum of the rate for each use shall cupancy A	eparation: Hr.  ea calculations for each story, the actual floor area of a not exceed 1.  Actual Area of Occupan	Exception:  the area of the occupancy of each use divided by the area of the occupancy of each use divided by the area of the area o	illowable floor area							
Special I Mixed O	Provisions (Chapter 5 - I Occupancy:  X Non-Separated Use (50  Separated Use (50  Actual Area of Occ Allowable Area of C	List Code Sections):  No Yes S e (508.3)  8.4) See below for are the sum of the ra for each use shall cupancy A cupancy A + A cupancy A + A	eparation: Hr.  ea calculations for each story, tios of the actual floor area of not exceed 1.  Actual Area of Occupar flowable Area of Occup	Exception:  , the area of the occupancy of each use divided by the analysis $\frac{acy B}{ancy B} = 0 \le 1$ $\frac{acy B}{ancy B} = 0 \le 1$	lllowable floor area  l = ≤ 1							
Special I Mixed O	Provisions (Chapter 5 - I Decupancy:  X Non-Separated Use (50  Separated Use (50  Actual Area of Oct Allowable Area of Co	List Code Sections):  No Yes S  e (508.3)  8.4) See below for are the sum of the ra for each use shall cupancy A  cupancy A	eparation: Hr.  ea calculations for each story, tios of the actual floor area of not exceed 1.  Actual Area of Occupar flowable Area of Occup	Exception:  the area of the occupancy of each use divided by the analysis $\frac{acy B}{ancy B} = 0 \le 1$ $\frac{acy B}{ancy B} = 0 \le 1$ $\frac{acy B}{ancy B} = 0 \le 1$	allowable floor area $\leq 1$							
Special I Mixed O	Provisions (Chapter 5 - I Decupancy:  X Non-Separated Use (50  Actual Area of Oct Allowable Area of Company (Chapter 5 - I  DESCRIPTION AND	List Code Sections):  No Yes See (508.3)  8.4) See below for are the sum of the rate for each use shall cupancy A + A ccupancy A + A  (A)  BLDG. AREA	eparation: Hr.  a calculations for each story, tios of the actual floor area of not exceed 1.  Actual Area of Occupar flowable Area of Occupar (B)  TABLE 506.24	Exception:  , the area of the occupancy of each use divided by the analysis $\frac{acy B}{ancy B} = 0 \le 1$ + = (C)  AREA FOR	lllowable floor area  l  ≤ 1  (D)  ALLOWABLE							
Special I Mixed O	Provisions (Chapter 5 - I Decupancy:  X Non-Separated Use (50  Separated Use (50  Actual Area of Oct Allowable Area of Co	List Code Sections):  No Yes S  e (508.3)  8.4) See below for are the sum of the ra for each use shall cupancy A  cupancy A	eparation: Hr.  ea calculations for each story, tios of the actual floor area of not exceed 1.  Actual Area of Occupar flowable Area of Occup	Exception:  the area of the occupancy of each use divided by the analysis $\frac{acy B}{ancy B} = 0 \le 1$ $\frac{acy B}{ancy B} = 0 \le 1$ $\frac{acy B}{ancy B} = 0 \le 1$	allowable floor area $\leq 1$							
Special I Mixed O STORY #	Provisions (Chapter 5 - I Occupancy:  X Non-Separated Use (50  Actual Area of Occ Allowable Area of Co  DESCRIPTION AND USE	ist Code Sections):  No Yes S e (508.3)  8.4) See below for are the sum of the ra for each use shall cupancy A ccupancy A + A ccupancy A + A CCUPANCY A + A (A) BLDG. AREA PER STORY (ACTUAL)	eparation: Hr.  ea calculations for each story, tios of the actual floor area of not exceed 1.  Actual Area of Occupar flowable Area of Occupar flowable Area of Occupar ABLE 506.24  AREA	Exception:  , the area of the occupancy of each use divided by the analysis $\frac{acy B}{ancy B} = 0 \le 1$ + = (C)  AREA FOR FRONTAGE	lllowable floor area    Solution							
Special I Mixed O	Provisions (Chapter 5 - I Decupancy:  X Non-Separated Use (50  Actual Area of Oct Allowable Area of Company (Chapter 5 - I  DESCRIPTION AND	List Code Sections):  No Yes See (508.3)  8.4) See below for are the sum of the rate for each use shall cupancy A + A CCUPANCY A + A  (A)  BLDG. AREA PER STORY	eparation: Hr.  a calculations for each story, tios of the actual floor area of not exceed 1.  Actual Area of Occupar flowable Area of Occupar (B)  TABLE 506.24	Exception:  , the area of the occupancy of each use divided by the analysis $\frac{acy B}{ancy B} = 0 \le 1$ + = (C)  AREA FOR FRONTAGE	lllowable floor area  I ≤ 1  (D)  ALLOWABLE  AREA PER STORY							
Special I Mixed O STORY #	Provisions (Chapter 5 - I Occupancy:  X Non-Separated Use (50)  Actual Area of Occ Allowable Area of Occ AND USE  Commercial/Resid.	ist Code Sections):  No Yes S e (508.3)  8.4) See below for are the sum of the rafor each use shall cupancy A + A ccupancy A + A CCUPANCY A + A PER STORY (ACTUAL)  2795 SF	eparation: Hr.  a calculations for each story, tios of the actual floor area of not exceed 1.  Actual Area of Occupar flowable Area of Occupar AREA  9000 SF	Exception:  , the area of the occupancy of each use divided by the analysis $\frac{acy B}{ancy B} = 0 \le 1$ + = (C)  AREA FOR FRONTAGE	llowable floor area  (D)  ALLOWABLE  AREA PER STORY  OR UNLIMITED <sup>2</sup> 9000 SF							

	ALLOWABLE HEIGH	T	
	ALLOWABLE	SHOWN ON PLANS	CODE REFEREN
Building Height in Feet (Table 504.3) <sup>2</sup>	55'	30	
Building Height in Stories (Table 504.4) <sup>3</sup>	3	2	

b. Total Building Perimeter = \_\_\_\_\_(P)

<sup>2</sup>Unlimited area applicable under conditions of Section 507.

d. W = Minimum width of public way = \_\_\_\_ (W)

3. Then maximum height of open parking garages must comply with Table 406.5.4.

e. Percent of frontage increase If =  $100 \left[ \overline{F/P} - 0.25 \right] \times W/30 =$  (%)

 $^{3}$  Maximum Building Area = total number of stories in the building x D (maximum 3 stories)(506.2).

c. Ratio  $(F/P) = \underline{\hspace{1cm}} (F/P)$ 

PERCENTAGE OF WALL OPENING CALCULATIONS								
WALL	FIRE SEPARATION	DEGREE OF OPENINGS	ALLOWABLE	ACTUAL SHOWN				
	DISTANCE FROM	PROTECTION	AREA	ON PLANS				
	PROPERTY LINES (FEET)	(TABLE 705.8)	(%)	(%)				

BUILDING ELEMENT	FIRE	F	RATING	DETAIL#	DESIGN#	SHEET#	SHEET
	SEPARATION	REQ'D	PROVIDED	AND	FOR	FOR	FOR
	DISTANCE		(W/*	SHEET#	RATED	RATED	RATE
	(FEET)		REDUCTION)		ASSEMBLY	PENETRATION	JOINT
Structural frame,							
including columns,		0					
girders, & trusses							
Bearing walls							
Exterior							
North		2	EXISTING				
East		2	EXISTING				
West		2	EXISTING				
South		2	2				
Interior		0	0				
Nonbearing walls and							
partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions		0					
Floor construction							
Including supporting		0					
beams and joists							
Floor Ceiling Assembly		0					
Columns Supporting Floors		0					
Roof Construction, including		0					
supporting beams and joists							
Roof Ceiling Assembly		0					
Columns Supporting Roof		0					
Shafts Enclosures - Exit							
Shafts Enclosures - Other							
Corridor Separation							
Occupancy/ Fire Barrier Separa	ation						
Party/Fire Wall Separation							
Smoke Barrier Separation							
Smoke Partition							
Tenant/Dwelling Unit/		1/2					
Sleeping Unit Separation							
Incidental Use Separation							

Incidental Use Separation					
* Indicate section number permitting re	eduction	•			
LIFE SAFETY SYSTEM REQ	DUIREMENTS				
Emergency Lighting:	No	X Yes			
Exit Signs:	☐ No	X Yes			
Fire Alarm:	X No	X Yes			
Smoke Detection Systems:	☐ No	X Yes	Partial _		
Carbon Monoxide Detection:	□ No	X Yes			

## LIFE SAFETY PLAN REQUIREMENTS

## Life Safety Plan Sheet #:

- X Fire and/or smoke rated wall locations (Chapter 7)
- Assumed and real property line locations (if not on the site plan)
- Exterior wall opening area with respect to distance to assumed property lines (705.8) Occupancy Use for each area as it relates to occupant load calculations (Table 1004.1.2)
- Occupant loads for each area
- Exit access travel distances (1017)
- Common path of travel distances (1006.2.1 & 1006.3.2(1))
- Dead end lengths (1020.4)
- Clear exit widths for each exit door
- Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3) Actual occupant load for each exit door
- A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided
- for purposes of occupancy separation
- Location of doors with panic hardware (1010.1.10)
- Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
- Location of doors with electromagnetic egress locks (1010.1.9.9)
- Location of doors equipped with hold-open devices Location of emergency escape windows (1030)
- The square footage of each fire area (202)
- The square footage of each smoke compartment for Occupancy Classification I-2 (407.5) Note any code exceptions or table notes that may have been utilized regarding the items above

ACCESSIBLE DWELLING UNITS (SECTION 1107)							
TOTAL	ACCESSIBLE	ACCESSIBLE	TYPE A	TYPE A	TYPE B	TYPE B	TOTAL
UNITS	UNITS	UNITS	UNITS	UNITS	UNITS	UNITS	ACCESSIBLE UNIT
	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	PROVIDED

	ACCESSIBLE PARKING (SECTION 1106)									
LOT OR PARKING	OT OR PARKING TOTAL # OF PARKING SPACES # OF ACCESSIBLE SPACES PROVIDED									
AREA	REQUIRED	PROVIDED	REGULAR WITH	VAN SPA	CES WITH	ACCESSIBLE				
			5' ACCESS	132" ACCESS	8' ACCESS	PROVIDED				
			AISLE	AISLE	AISLE					
TOTAL										

	PLUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)										
J	USE WATERCLOSETS		URINALS	LAVATORIES		SHOWERS	DRINKING FOUNTAINS				
		MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX	/TUBS	REGULAR	ACCESSIBLE
	EXIST'G										
SPACE	NEW										
	REQ'D										

## SPECIAL APPROVALS

Special approval: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHHA, etc., describe below)

	ENERGY SUMMARY	MECHANICAL SUMM	MARY
	ered minimum and any special attribute require ish the required portions of the project information.	to meet the energy code shall also be  MECHANICAL SYSTEMS, SERVICE SYSTEMS AND EQUIPMENT	
ethod, state the annual energy co	st for the standard reference design vs annual e		
xisting building envelope comp	<u> </u>		
xempt Building:	Provide code or statutory	eference: Interior design conditions	C
Climate Zone: X 3A	☐ 4A ☐ 5A	Building heating load:  Building cooling load:  Mechanical Spacing Conditioning System  Unitary  Description of write	11
Method of Compliance:		relative humidity:	7
Energy Code	Performance X Prescripti	Duilding heating leads	
ASHRAE 90.1	Performance Prescripti	Building heating load:	
Other	Performance (specify source)	Building cooling load:	
HERMAL ENVELOPE (Presc	ptive method only)	Mechanical Spacing Conditioning System	
Roof/ceiling Assembly (each	assamhly)	Unitary	
Description of assembly:	assemory)	description of unit:	
U-Value of total assembly:		heating efficiency:	
R-Value of insulation:	R38	cooling efficiency:	
	KJO	size category of unit:	
Skylights in each assembly:		Boiler	
U-Value of skylights:	11.	Size category. If oversized, state reason.:	
total s.f. of skylights in each	assembly:	Chiller	
Exterior Walls (each assemb	y)	Size category. If oversized, state reason.:	
Description of assembly:		List equipment efficiencies:	
U-Value of total assembly:			
R-Value of insulation:	R19	ELECTRICAL SUMM	IARY
Openings (windows or door	s with glazing)	ELECTRICAL SYSTEM AND EQUIPMENT	•
U-Value of assembly:		Method of Compliance:	<b>D</b>
Solar heat gain coeffici	ent:	Energy Code: Prescriptive Performance	$C^{3}$
Projection factor:		ASHRAE 90.1: Prescriptive Performan	
Door R-Values:		_ ·	,
Walls below grade (each ass	mbly)	Lighting Schedule (each fixture type) lamp type required in fixture number of lamps in fixture ballast type used in the fixture number of ballasts in fixture total wattage per fixture	
Description of assembly:		lamp type required in fixture	
U-Value of total assembly:		number of lamps in fixture	
R-Value of insulation:		ballast type used in the fixture	
		number of ballasts in fixture	
Floors over unconditioned sp	ace (each assembly)	total wattage per fixture	
Description of assembly:		total interior wattage specified vs. ed (whole building or	r space
U-Value of total assembly:		total exterior wattage specified vs. anowed	
R-Value of insulation:		Additional Efficiency Package Options	
Floors slab on grade		(When using the 2018 NCECC; not required for ASHRAE 90.1)	
Description of assembly:		C406.2 More Efficient HVAC Equipment Performance	
U-Value of total assembly:		C406.2 More Efficient TVAC Equipment Terrormance  C406.3 Reduced Lighting Power Density	
R-Value of insulation:		C406.4 Enhanced Digital Lighting Controls	
Horizontal/vertical requirer	ent:	C406.4 Elinanced Digital Eighting Controls  C406.5 On-Site Renewable Energy	
Slab heated:		C406.5 On-site Renewable Energy  C406.6 Dedicated Outdoor Air System	
<del></del> -		C406.6 Dedicated Outdoor Air System  C406.7 Reduced Energy Use in Service Water Heating	
		C+00.7 Reduced Energy Use in Service water Heating	

	ST	RUCTURAL DESIG	N		
DESIGN LOADS					
<b>Importance Factors:</b>	Wind $(I_W)$				
	Snow $(I_s)$				
	Seismic $(I_E)$				
Live Loads:	Roof	psf			
	Mezzanine	psf			
	Floor	psf			
Ground Snow Load:		psf			
Wind Load:	Basic Wind Speed	mp¹ <b></b>	CE-7)		
	<b>Exposure Category</b>		•		
SEISMIC DESIGN CATEGO	ORY:		$\Box$ C	$\Box$ D	
Provide the following Seismic	Design Parameters:	_,5,`	_	<del></del>	
Occupancy Category (T	able 1604.5)	ПП		☐ IV	
Spectral Response Acce	leration $S_{S}$	%g	S <sub>1</sub>	%g	
Site Classification (ASC	E-7) A	B C	D	E	F
Data	Source: Field Te	st Pre	sumptive	Histori	cal Data
Basic structural system	'	_			
	Bearing wall	Dual w/Special N			
	Building Frame	Dual w/Intermed		cial Steel	
	Moment Frame	Inverted Pendulu		_	
Analysis Procedure:	Simplifie		ivalent Lateral	Force	Dynamic
Architectural, Mechanic	cal, Components ancho	ored? Yes	No No		
LATERAL DESIGN CONTI	ROL: Earthquake	· D	Wind		
SOIL BEARING CAPACIT	IES:				
Field Test (provide copy	of test report)	psf			
Presumptive Bearing cap	acity	psf			

Pile size, type, and capacity

118 West Woodhill Drive Nags Head, North Carolina 27959 P. 252.441.0271 F. 252.441.8724 E. office@obxarchitects.com

L SUMMARY Project: 513 E. Main Project No: **23030** Location: 513 E. Main St. Elizabeth City, NC ouilding or space by space) Appendix B Ju.y 11, 2023

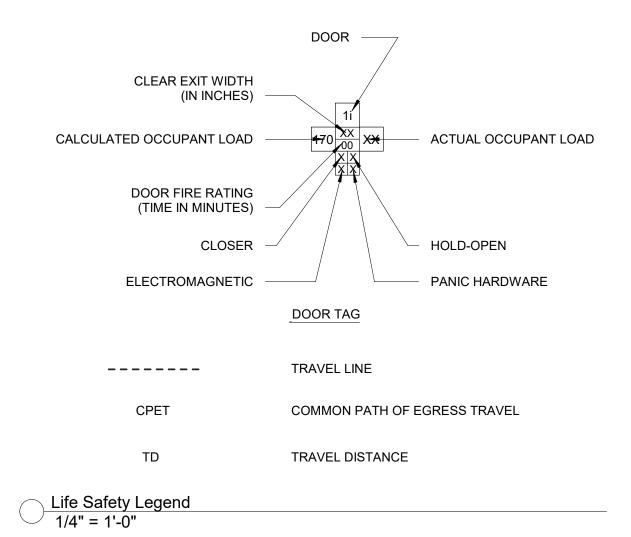
> The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the



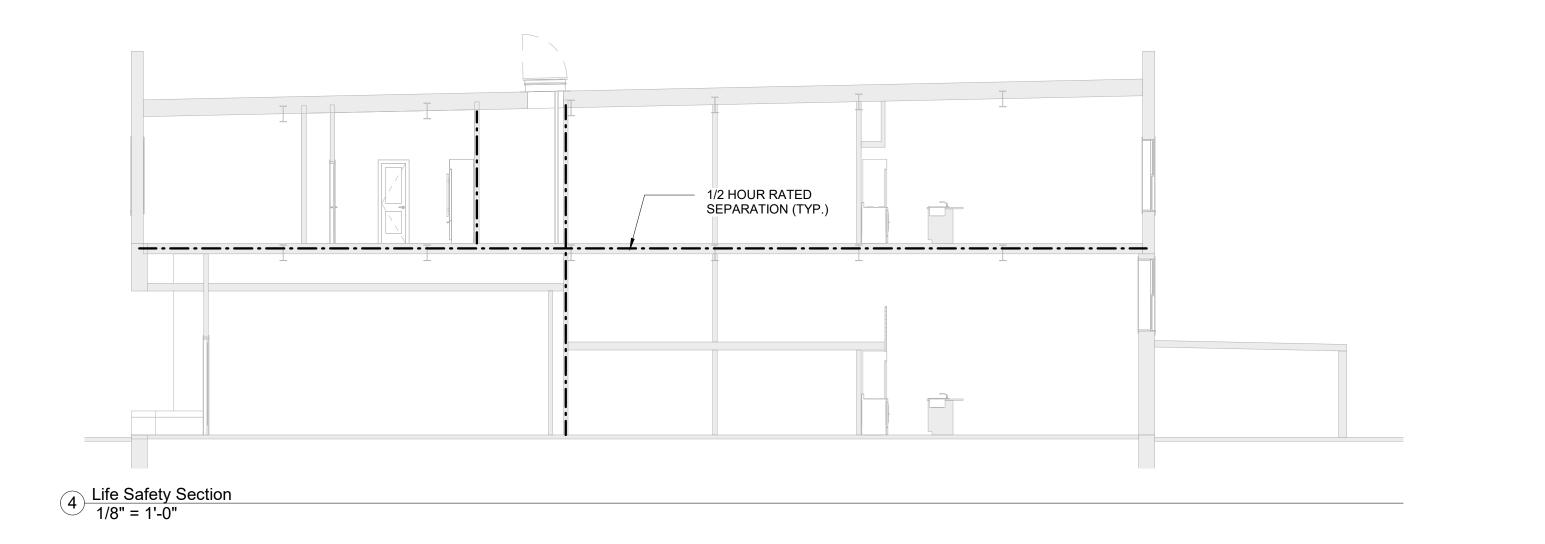
No.	Description	Date

Reviewed: Checker

Occupant Schedule					
Name	Area	Occupancy	Occupancy S.F. Type	Area Per Occupant	Occupants
(1) First Floor					
B - Business	675 SF	Business Areas	Gross	100 SF	7
R-2 - Residential	1591 SF	Residential	Gross	200 SF	8
Mezzanine Floor					
R-2 - Resiidential	520 SF	Residential	Gross	200 SF	3
(2) Second Floor					
R-2 - Residential	1987 SF	Residential	Gross	200 SF	10
	28				









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Project: 513 E. Main Project No: **23030** Location: 513 E. Main St. Elizabeth City, NC Life Safety Plans Ju.y 11, 2023

As indicated

The designer shall not be responsible for any error, omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees otherwise due designer for services provided on the



Revisions: No.

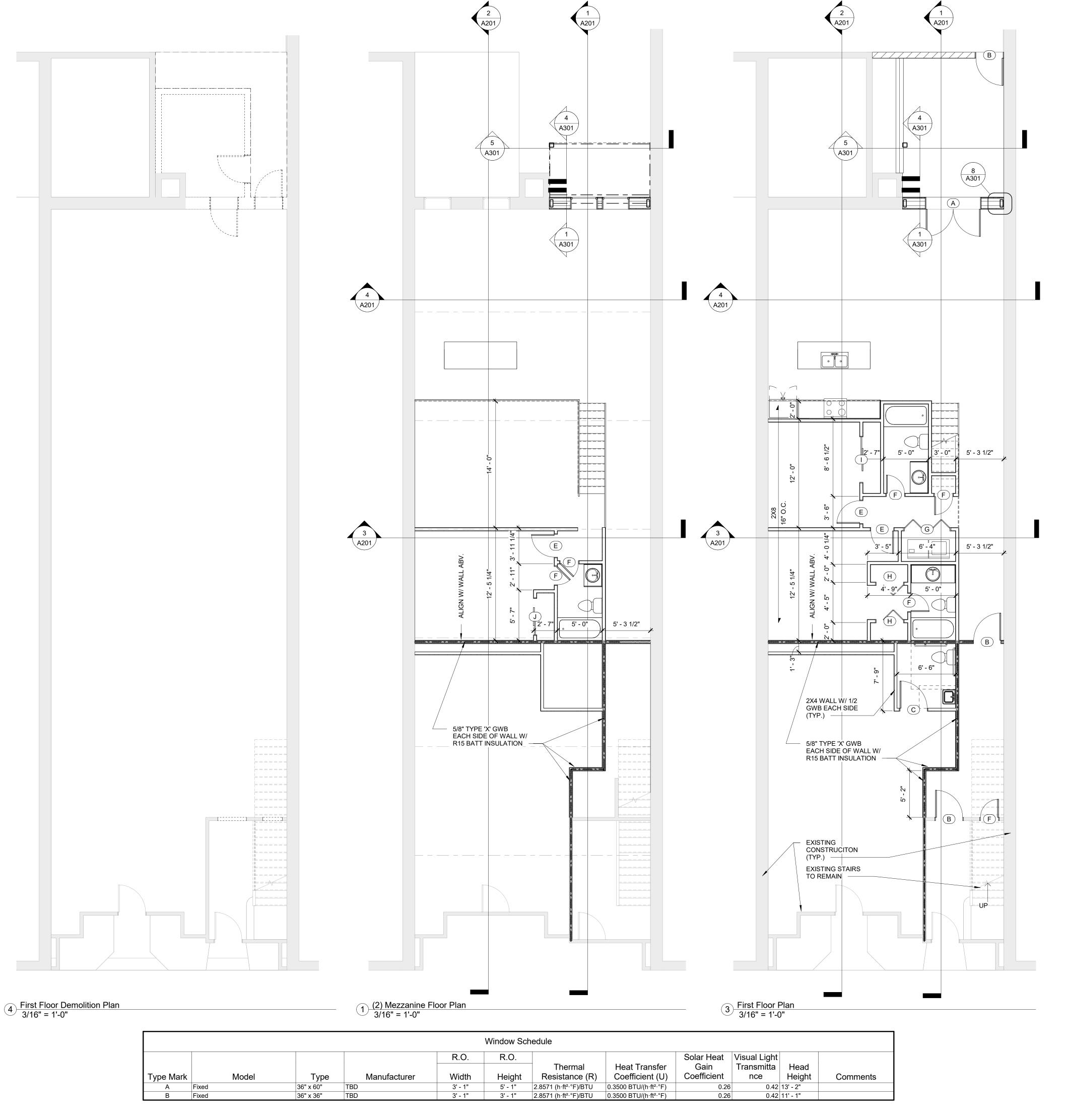
Description Date

Designed: Designer

Drawn: Author

Reviewed: Checker

Door Schedule Res					
		Door			
Mark	Door Style	Width	Height	Comments	
Α	Exterior - Double Swing Full Light	6' - 0"	6' - 8"		
В	Interior - Single Swing Fire Door	3' - 0"	6' - 8"	20 MIN FIRE RATED DOOR	
С	Interior - Single Swing	3' - 0"	6' - 8"		
D	Interior - Single Swing	2' - 10"	6' - 8"		
Е	Interior - Single Swing	2' - 6"	6' - 8"		
F	Interior - Single Swing	2' - 0"	6' - 8"		
G	Interior - Double Bi-Fold	5' - 0"	6' - 8"		
Н	Interior - Single Bi-Fold	3' - 0"	6' - 8"		
I	Interior - Bi-Pass	5' - 0"	6' - 8"		
J	Interior - Bi-Pass	4' - 0"	6' - 8"		
K	Interior - Single Pocket	2' - 0"	6' - 8"		





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Project: 513 E. Main

Project No: **23030** 

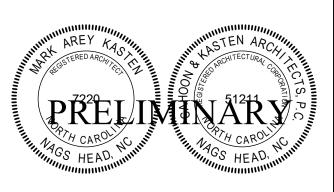
Location: 513 E. Main St.

Elizabeth City, NC First & Mezzanine Floor

Ju.y 11, 2023

3/16" = 1'-0"

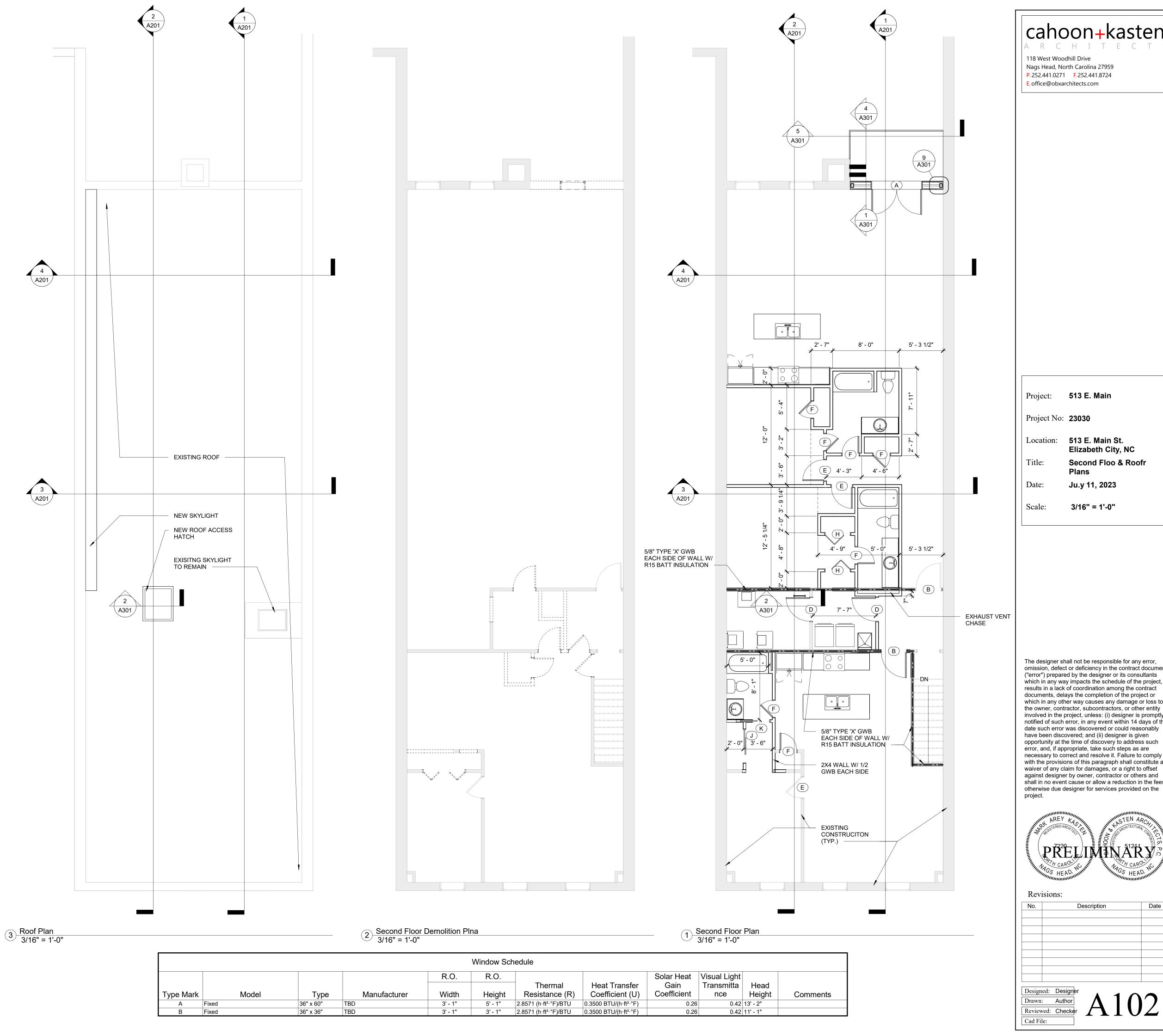
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Revisions: No. Date Description

Drawn: Author Reviewed: Checker

Door Schedule Res						
		Door				
Mark	Door Style	Width	Height	Comments		
Α	Exterior - Double Swing Full Light	6' - 0"	6' - 8"			
В	Interior - Single Swing Fire Door	3' - 0"	6' - 8"	20 MIN FIRE RATED DOOR		
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Е	Interior - Single Swing	2' - 6"	6' - 8"			
F	Interior - Single Swing	2' - 0"	6' - 8"			
G	Interior - Double Bi-Fold	5' - 0"	6' - 8"			
Н	Interior - Single Bi-Fold	3' - 0"	6' - 8"			
I	Interior - Bi-Pass	5' - 0"	6' - 8"			
J	Interior - Bi-Pass	4' - 0"	6' - 8"			
К	Interior - Single Pocket	2' - 0"	6' - 8"			



cahoon+kasten

Second Floo & Roofr

3/16" = 1'-0"

omission, defect or deficiency in the contract documents ("error") prepared by the designer or its consultants which in any way impacts the schedule of the project, results in a lack of coordination among the contract documents, delays the completion of the project or which in any other way causes any damage or loss to the owner, contractor, subcontractors, or other entity involved in the project, unless: (i) designer is promptly notified of such error, in any event within 14 days of the date such error was discovered or could reasonably have been discovered; and (ii) designer is given opportunity at the time of discovery to address such error, and, if appropriate, take such steps as are necessary to correct and resolve it. Failure to comply with the provisions of this paragraph shall constitute a waiver of any claim for damages, or a right to offset against designer by owner, contractor or others and shall in no event cause or allow a reduction in the fees



Description Date

